



WELCOME

TO THE OPEN HOUSE

FOR THE

MCLEAN DISTRICT DESIGN GUIDELINES

INTRODUCTION

WHAT ARE URBAN DESIGN GUIDELINES?

The Urban Design Guidelines further the goals of the Comprehensive Plan To:

- Improve the appearance and function of the CBC
- Enhance the CBC's sense of place
- Make the CBC more attractive to walk and bike

THE PURPOSE OF TODAY'S EVENT

- The County is looking for feedback on the overall direction of the Urban Design Guidelines for the McLean CBC.
- Your input will help the design team confirm initial design ideas, revise the guidelines where needed, and incorporate additional ideas.

URBAN DESIGN GUIDELINES DO THE FOLLOWING:

- Provide guidance on additional design details to implement the goals of the Comprehensive Plan
- Help the County evaluate development projects during the development review process
- Encourage flexibility and ingenuity to adapt to site-specific conditions
- Offer predictability and a common starting point for applicants and the community during the development review process

URBAN DESIGN GUIDELINES ARE NOT:

- Regulatory documents
- Zoning requirements

TODAY'S AGENDA



**SIGN IN & PICK UP
SUPPLIES**



**VISIT STATIONS
REVIEW EXHIBITS**



**PARTICIPATE IN
MARKED ACTIVITIES**

QUESTIONS?

If you have any questions, do not hesitate to ask a staff member for assistance.

PARTICIPATE ONLINE: <https://www.fcrevite.org/mclean/design-guidelines>

URBAN DESIGN FRAMEWORK

SUMMARY OF COMPREHENSIVE PLAN FOR MCLEAN

The vision for the McLean Community Business Center (CBC) as described in the Comprehensive Plan is to sustain and enhance the community-serving business area while encouraging quality mixed-use redevelopment that supports walkability, public infrastructure, open space, and parks. A diversity of land uses with inviting street level facades primarily in mid-to-high-rise buildings will be concentrated mostly towards the central portion of the CBC. The Plan organizes the area into three distinct zones including the center, general, and edge zones. These zones provide important building form and site design transitions from the center of the CBC to the surrounding neighborhoods.

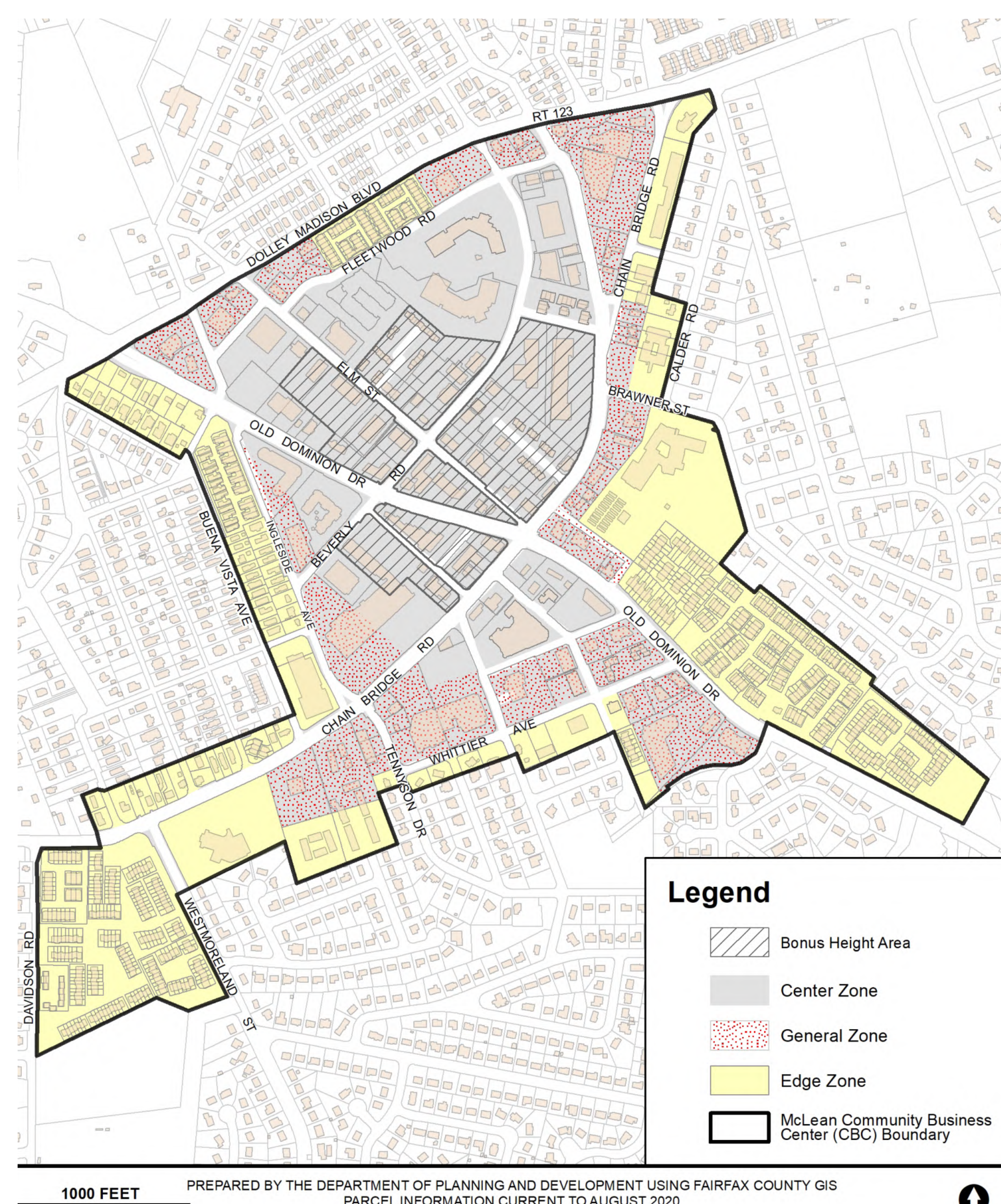
Zones

1. Center (75 acres, incl. Bonus Height Area)
2. General (54 acres)
3. Edge (85 acres)

Form-based Approach for Center/General Zone

Uses building form, building location, design, and height to determine development potential rather than a specific density.

There are aspects of the Urban Design Guidelines that will help inform the form-based approach.



McLEAN CBC ZONES

MCLEAN URBAN FRAMEWORK PLAN



FRAMEWORK ELEMENTS

1 Organic development pattern and historical context

The character of the built environment of McLean has evolved naturally over time in relationship to the transportation systems that served the area. McLean is characterized by a central crossroads with an overlay of a grid of streets. This layout, along with the preponderance of local businesses over national chains and big-box retailers, fosters the small-town vibe and village feel.



Image Credit: VivaTysons

St. John's Episcopal Church McLean, Virginia

2 Quality Building Architecture and Materiality

McLean's communities desire excellence in building architecture. Quality materials with timeless design should be employed in both architecture and site features.



Image Credit: AIA Washington DC

Washington, DC

3 Transitions

The design of developments should carefully consider its surrounding context and neighboring uses to ensure compatible transitions that minimize impacts to existing development.



Image Credit: Shalom Baranes Architects

Alexandria, VA

4 Active Building Frontage along Key Streets and at Important Nodes

Encourage variety and human scale designs of building ground floors to contribute to a village feel.



Image Credit: the San Jose BLOG

San Jose, CA

FRAMEWORK ELEMENTS

5 Environmentally Focused Designs

Streetscapes and public spaces should showcase and celebrate sustainable designs that increase the number of trees and green spaces.



Image Credit: world-architects

New York, NY

6 System of Secondary Pedestrian Pathways

Trails and other connections between streets improve the pedestrian experience by linking various active uses/spaces such as restaurants and outdoor spaces.



Image Credit: Indianapolis Convention and Visitors Association

Indianapolis, IN

7 Network of Public Spaces Linked to Signature Civic Plaza

The new signature civic plaza should be accompanied by retail/restaurant uses nearby to generate day and night time activity.



Image Credit: RockvilleTownSquare.com

Rockville, MD

8 Unifying Elements

Use defined public realm features that embody the McLean character. This may include public art, wayfinding, low walls comprised of brick/stone, arcades between the street and the building, and a distinctive sidewalk paving design.



Image Credit: Copley Wolff Landscape Architecture

Boston, MA

Question #1

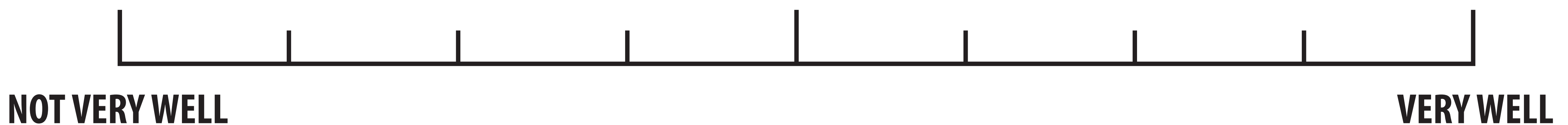
Urban Design Concept

Please read and respond to the following vision statement for the McLean Community Business Center. It provides an overarching guide for design decisions as new development projects are proposed in the area.

“Neighborhood Village”: McLean has a small town feel with a variety of human-scale gathering spaces that foster social interaction and communal experiences. The diversity of local merchants meets many of the daily shopping and service needs of area residents. Dining options help define McLean as a destination for area residents. Well-designed streetscapes and off-street pathways offer comfortable connections to these destinations as well as from the surrounding neighborhoods into McLean. McLean showcases itself as a sustainable community with shade trees, green areas, and innovative environmental features. The history of McLean is embraced through the scale of blocks and the finer-grain texture of building fabric that contributes to the sense of community.

A How well does this statement represent your vision for McLean?

Place a dot on the sliding scale below based on how well you think the statement represent McLean. “very well” to the extreme right, “Not very well” to the extreme left.



B Is there anything you would add or change?

Please write on a sticky note provided, and place them in the box below.

STREETSCAPES - CONFIGURATION & PAVING

Avenues

Chain Bridge and Old Dominion

Emphasizes Trees and Buffering
 Continuous tree cover and heavy understory plantings
 Allée effect with double row of trees



London Olympic Village, London, UK

Local Streets

Elm and Beverly

Emphasizes Socialization and Business Activity
 Use of the building frontage areas for seating, displays, gardens, and spaces to congregate



Main Street, Greenville, South Carolina

STREET NETWORK PLAN



Chain Bridge Road (Avenue)

STREET ORIENTED ACCESS

Create a sense of arrival and hierarchy with architectural features and paving

ALLEE OF TREES

Provide a double row of trees within the building zone and the landscape panel

LANDSCAPED MEDIAN

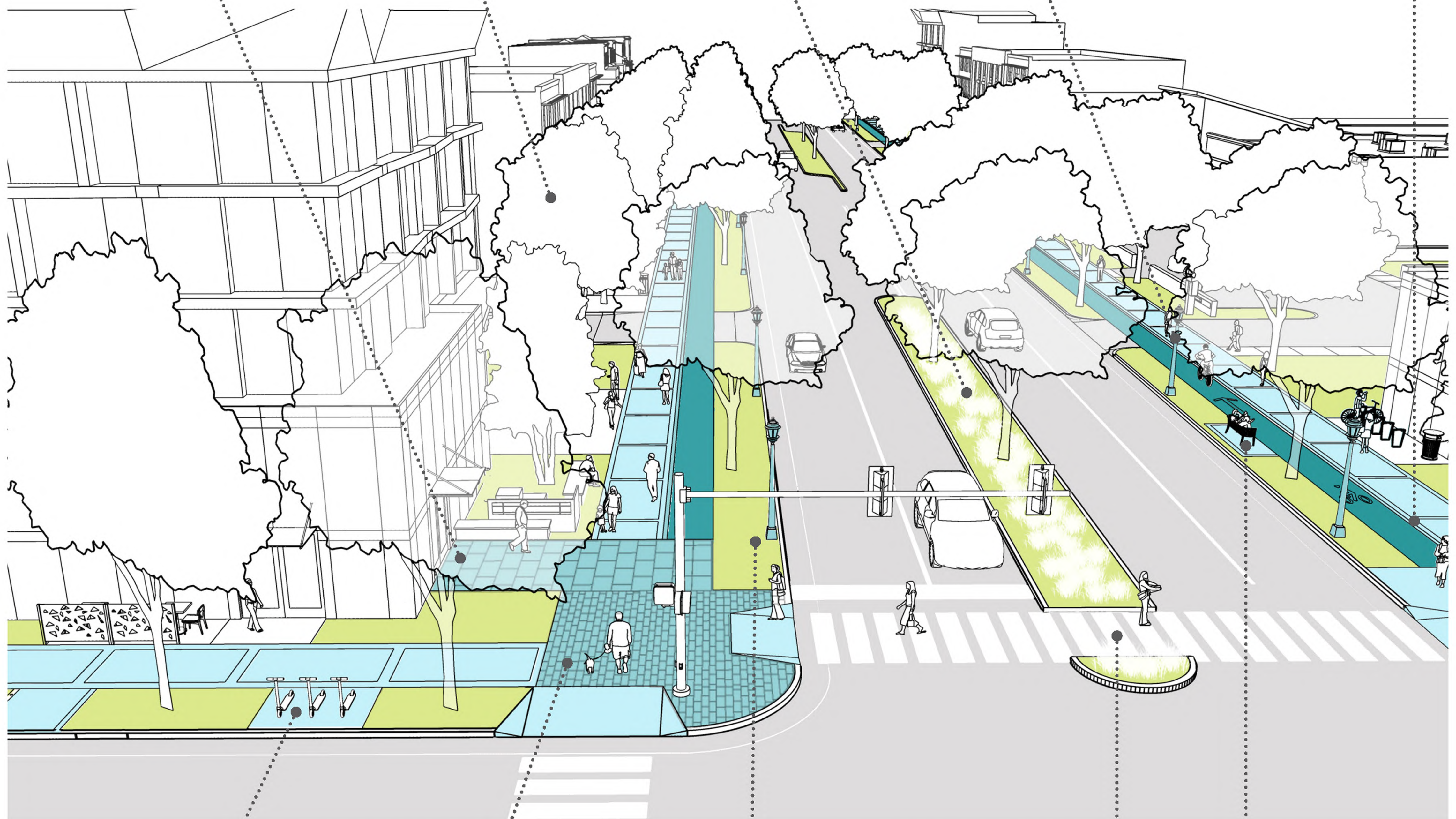
Where medians are proposed, add trees and landscaping for a Boulevard design

STREET LIGHT

Provide lighting for roadways and the public realm

BIKE AND PEDESTRIAN PATHWAYS

Off-street bike facilities are necessary on Avenues



MULTIMODAL PARKING

Provide parking for multimodal transportation

INTERSECTION PLAZA

Shared space for pedestrians and cyclists as they approach the intersection

LANDSCAPE PANEL

Landsaped buffer with understory planting

CROSSWALK REFUGE

Median refuge includes a bullnose to protect crosswalk

STREETSCAPE FURNISHINGS

Bench seating provided within the landscape panel

STREETSCAPE FURNISHINGS

Bench seating provided within the landscape panel

AMENITY ZONE

Paved with a similar treatment as the sidewalk

ALLEE OF TREES

Provide a double row of trees within the building zone and the landscape panel

STREET LIGHT

Provide lighting for roadways and the public realm

SIGNAGE

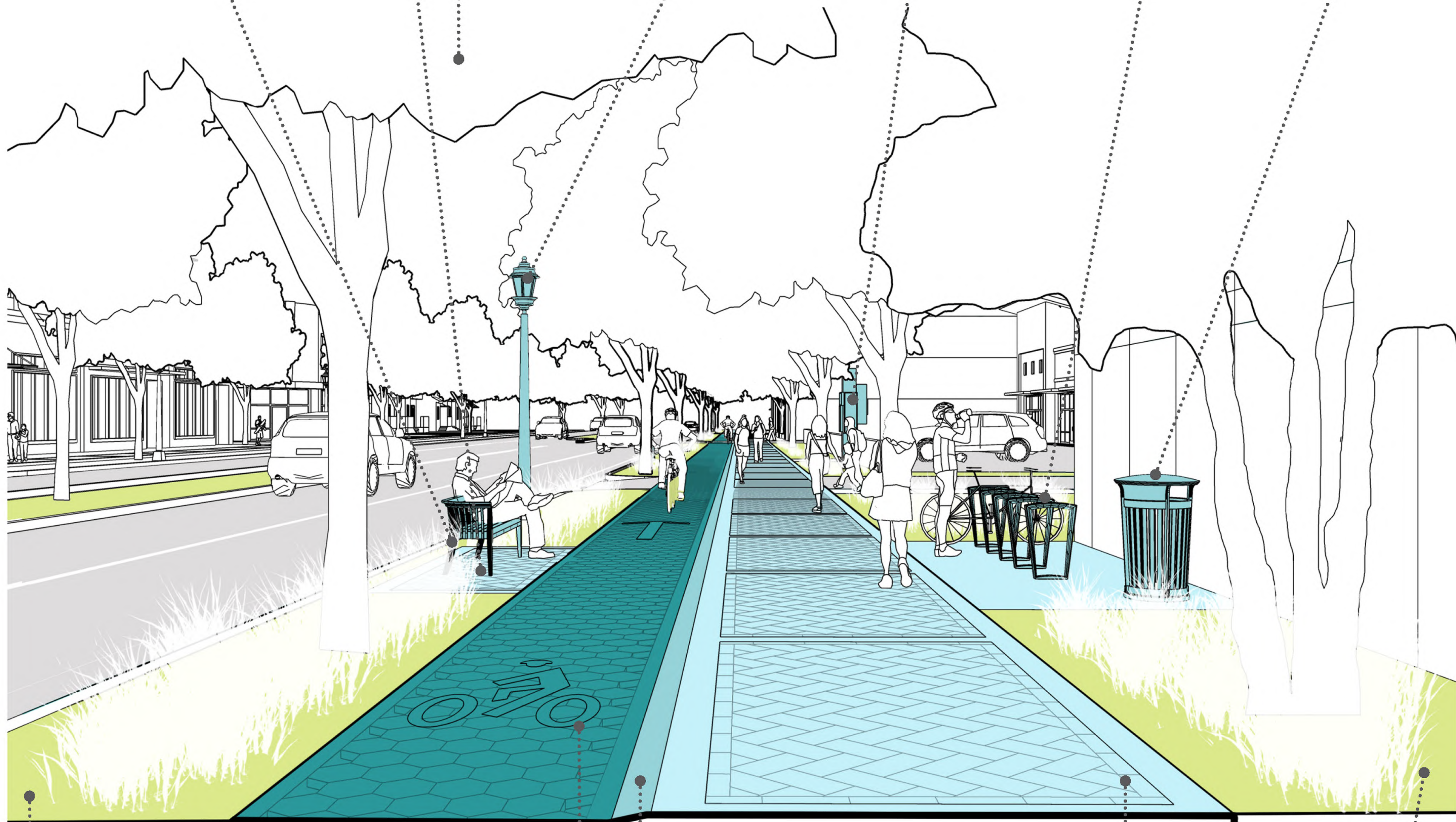
Locate within parcel to indicate location for both pedestrian and vehicular users

BIKE RACKS

Provide parking for bikes to encourage multimodal transportation

RECEPTACLE

Provide receptacle: in the public realm



LANDSCAPE AMENITY PANEL

Landsaped buffer with understory planting and amenity zone

CYCLE TRACK

Asphalt pavers and signage to indicate directional bike pathways

DETECTABLE SEPARATION

Vertical separation of bike and pedestrian pathways with curb

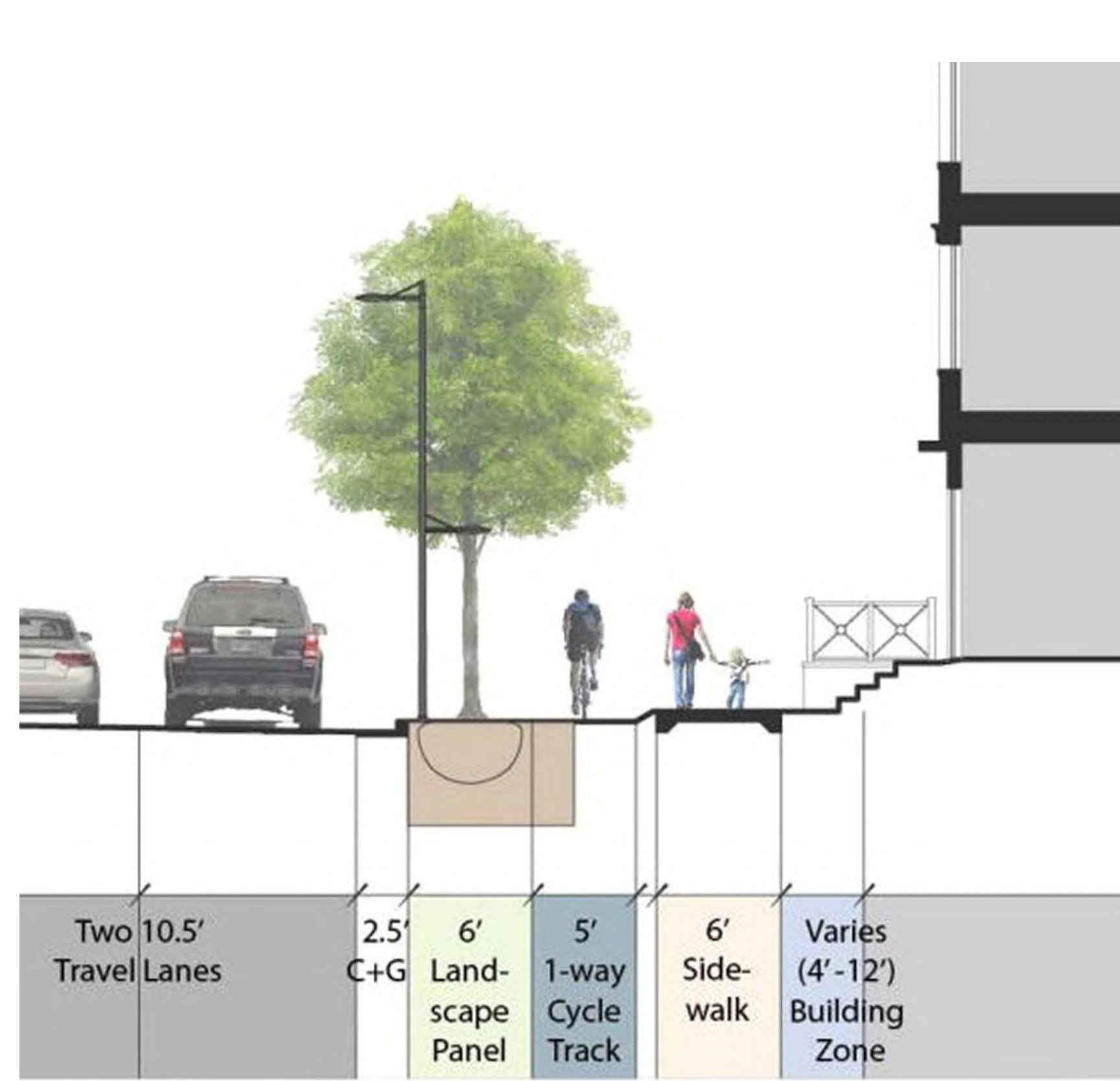
SIDEWALK

Provide sidewalk with brick paving and concrete band

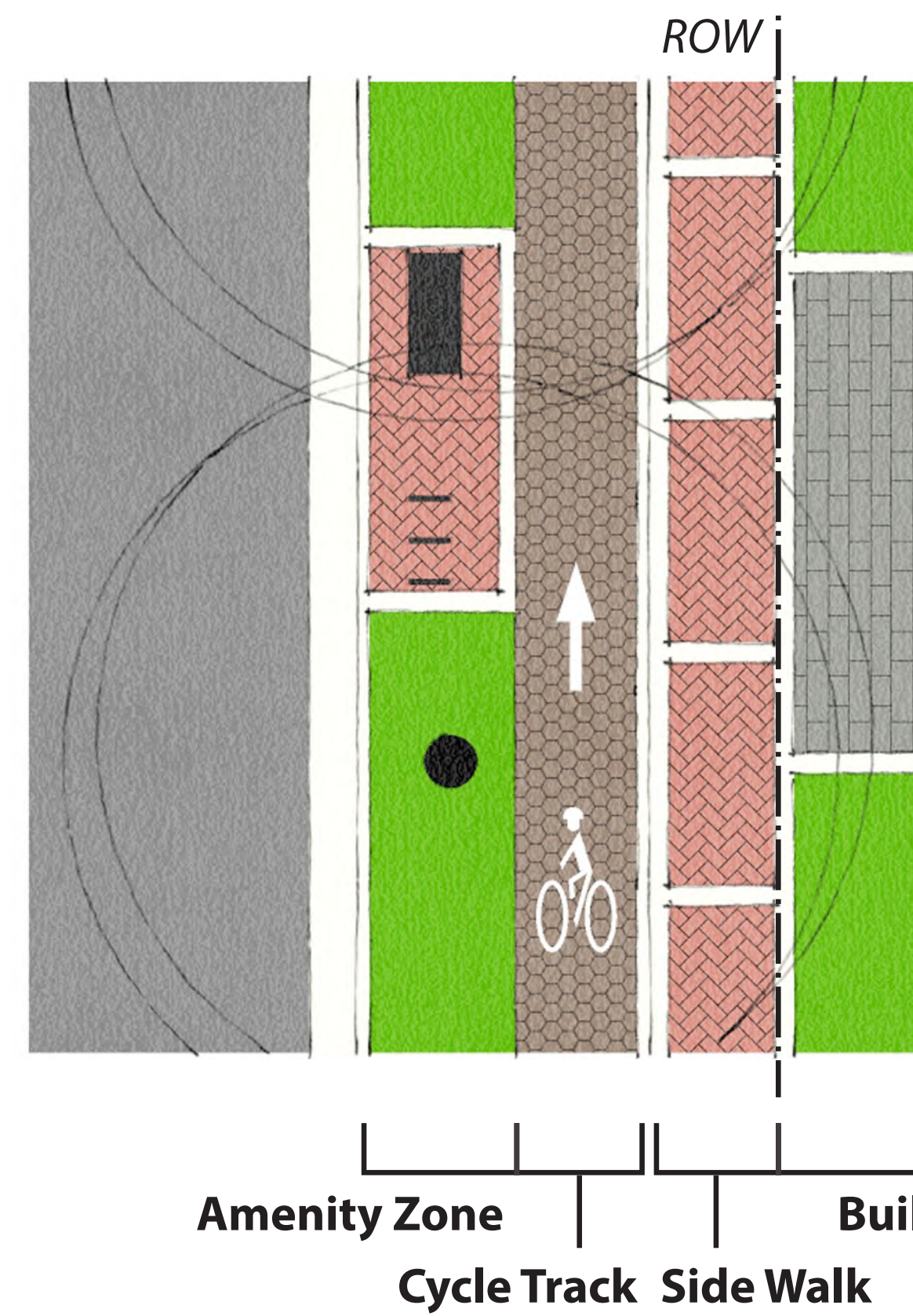
PLANTING AREA

Create foundational planting within the building zone

Avenues Public Realm Section & Paving Materials

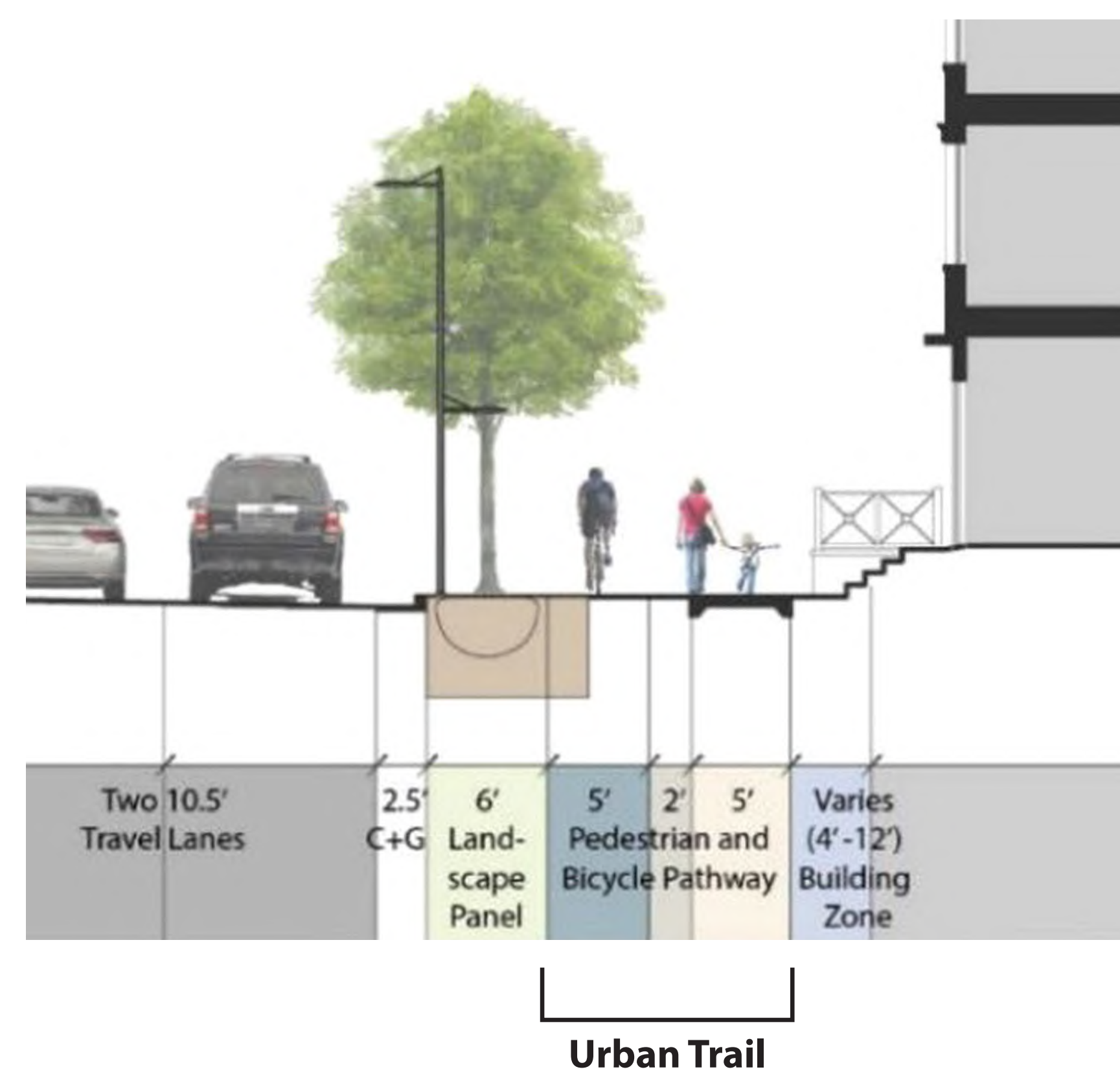


CHAIN BRIDGE ROAD PUBLIC REALM SECTION (COMPREHENSIVE PLAN)

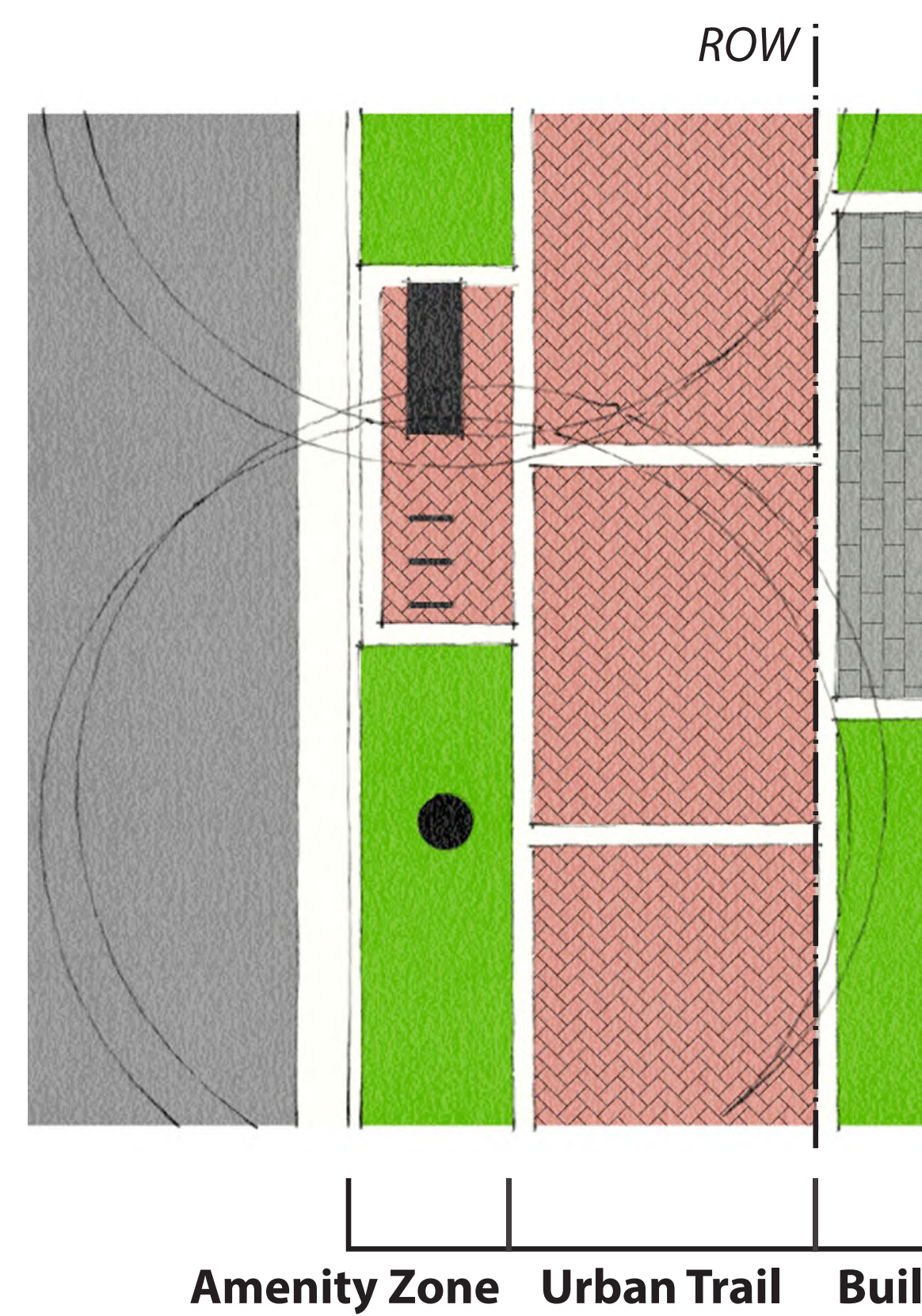


CHAIN BRIDGE ROAD PAVING MATERIALS

- Cycletrack: asphalt pavers
- Side Walk: brick panels
- Separation: 1-foot ADA separation or detectable material between cycle track and walkway
- Amenity Zone in Landscape Panel: Linear planters, brick panels, concrete band edging
- Building Zone: Flexible, depending on adjacent building use and architecture



OLD DOMINION DRIVE PUBLIC REALM SECTION (COMPREHENSIVE PLAN)



OLD DOMINION DRIVE PAVING MATERIALS

- Urban Trail: brick panels
- Amenity Zone: Linear planters, brick panels, concrete band edging
- Building Zone: Flexible, depending on adjacent building use and architecture



Amsterdam, Netherlands



Indianapolis Cultural Trail (ICT), Indianapolis, Indiana

Beverly Road, Elm Street and Other Local Streets

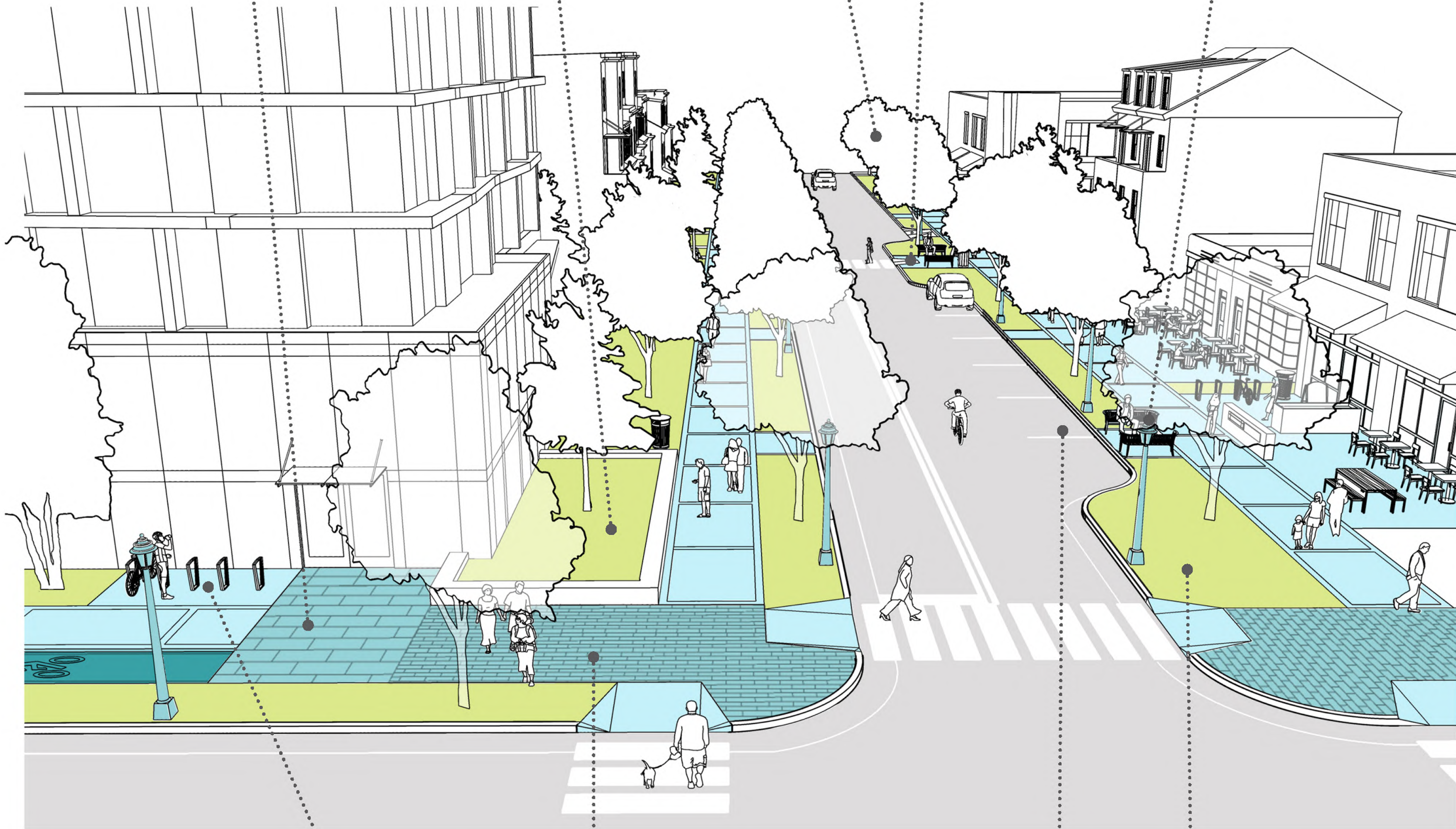
STREET ORIENTED ACCESS
Create a sense of arrival and hierarchy with architectural features and paving

BIORETENTION
Performs stormwater management, integrated seating, and green space within parcel

TREE CANOPY
Provide a row of trees along sidewalk and roadways within the tree strip

CROSSING
Provide mid-block crossing opportunities to maximize pedestrian access

STREET LIGHT
Provide lighting for roadways and the public realm



BIKE RACKS
Provide parking near doorways to encourage multimodal transportation

INTERSECTION PLAZA
Add paving to make corner a distinct destination

PARKING
Parking provided on street where available

LANDSCAPE PANEL
Maximize green space opportunities at intersections

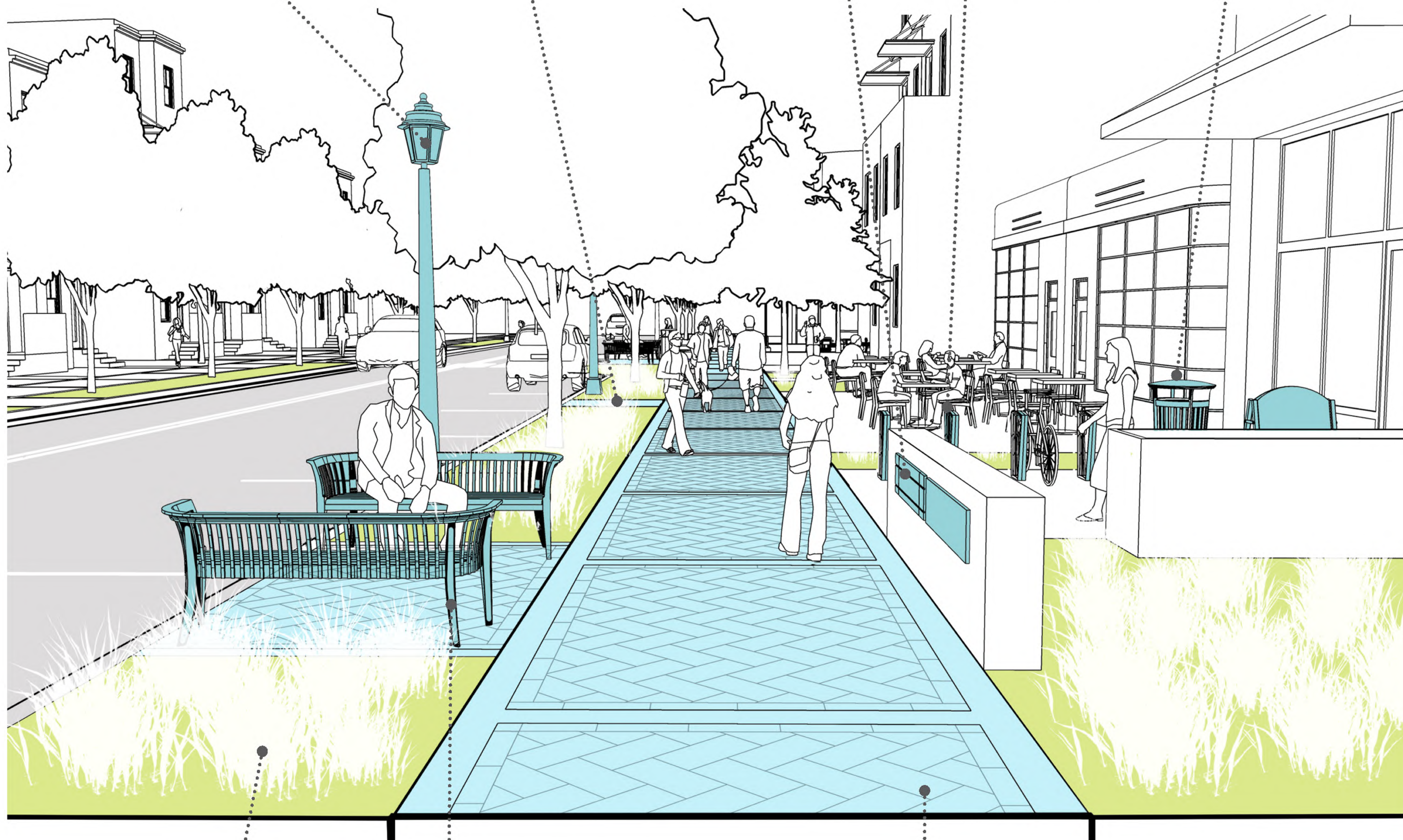
STREET LIGHT
Provide lighting for roadways and the public realm

PARKING ACCESS
Provide access for on-street parking users to pass through landscape panel

WALL-MOUNTED SIGN
Provide pedestrian-scaled signage

BIKE RACKS
Provide parking for bikes near entrances to encourage multimodal transportation

RECEPTACLE
Provide receptacles in the public realm



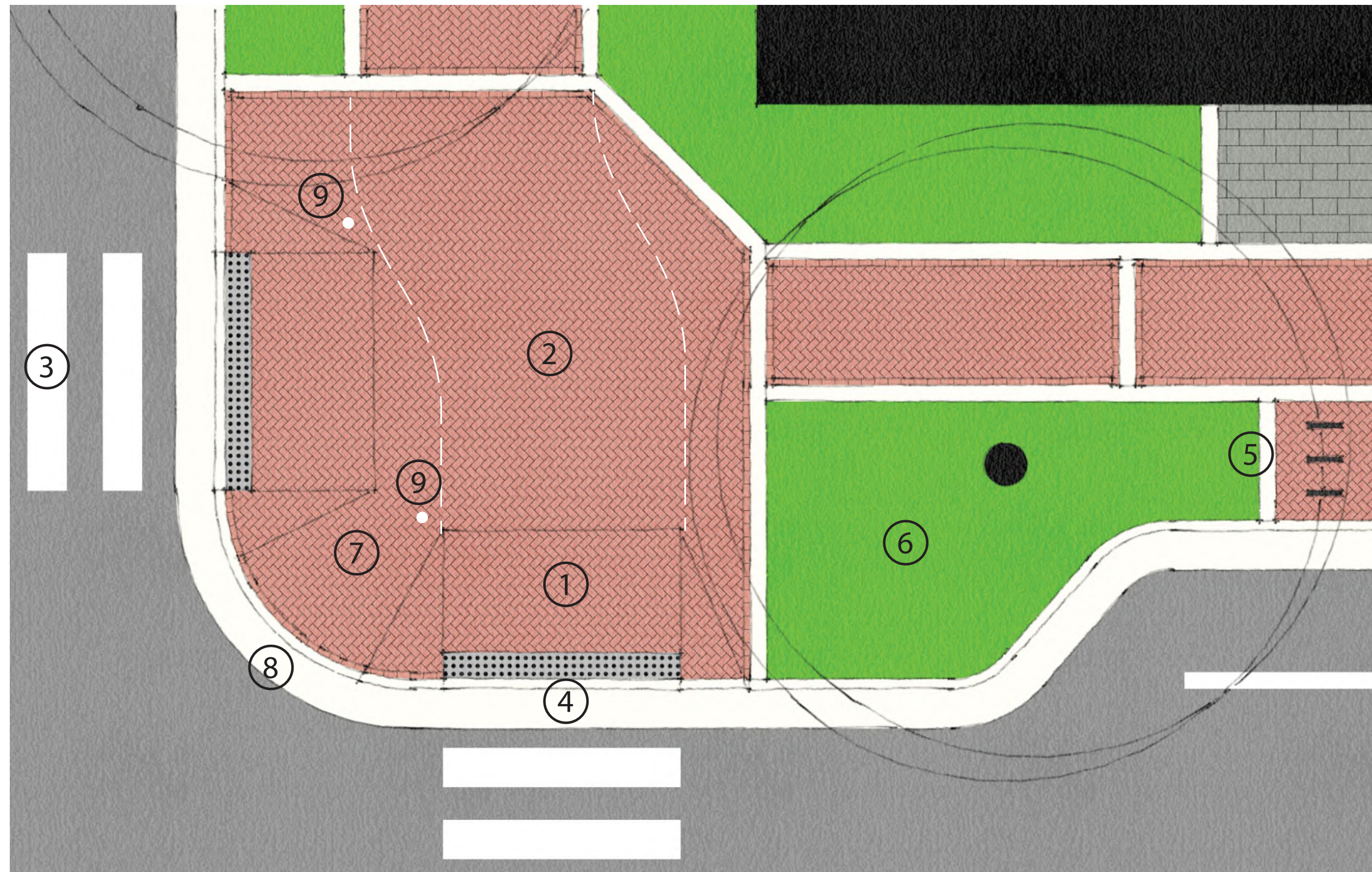
LANDSCAPE PANEL
Landscaped buffer with understory planting

STREETSCAPE FURNISHINGS
Provide seating for pedestrians oriented perpendicular to traffic

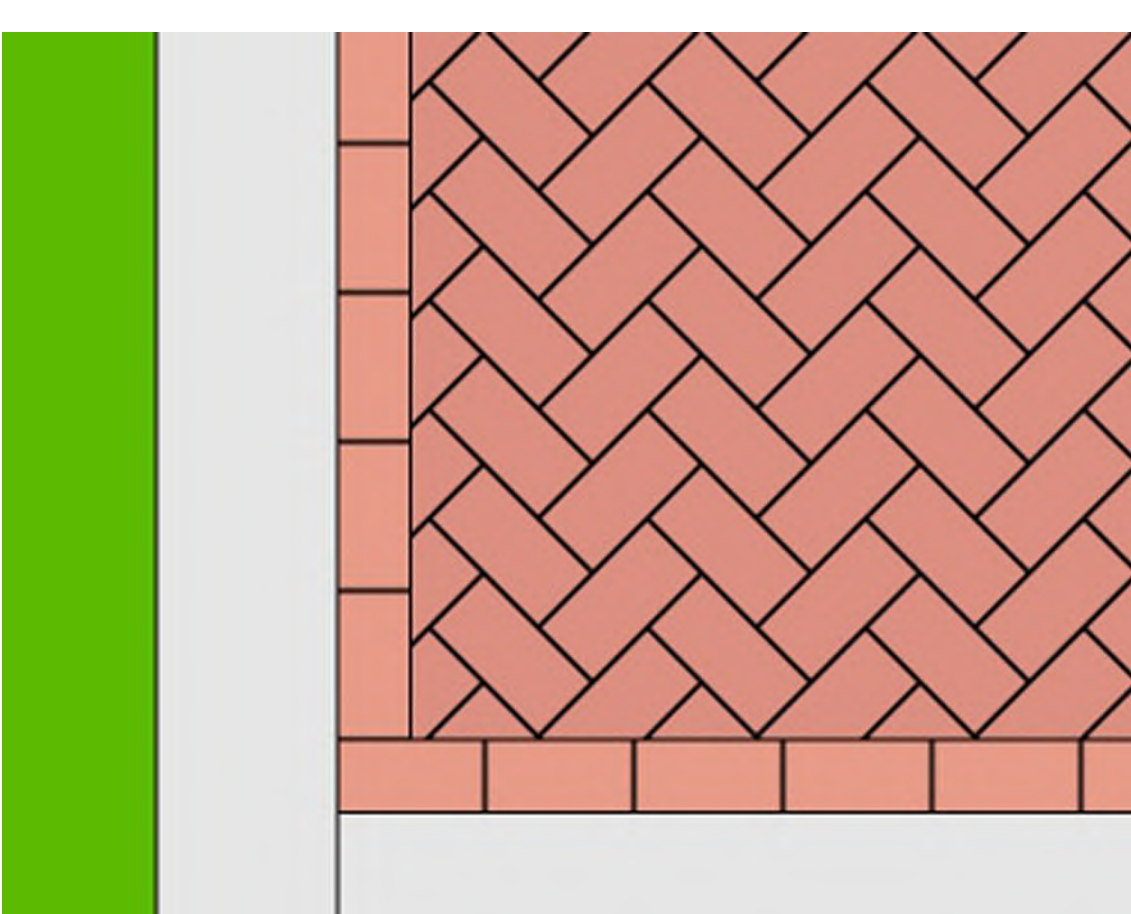
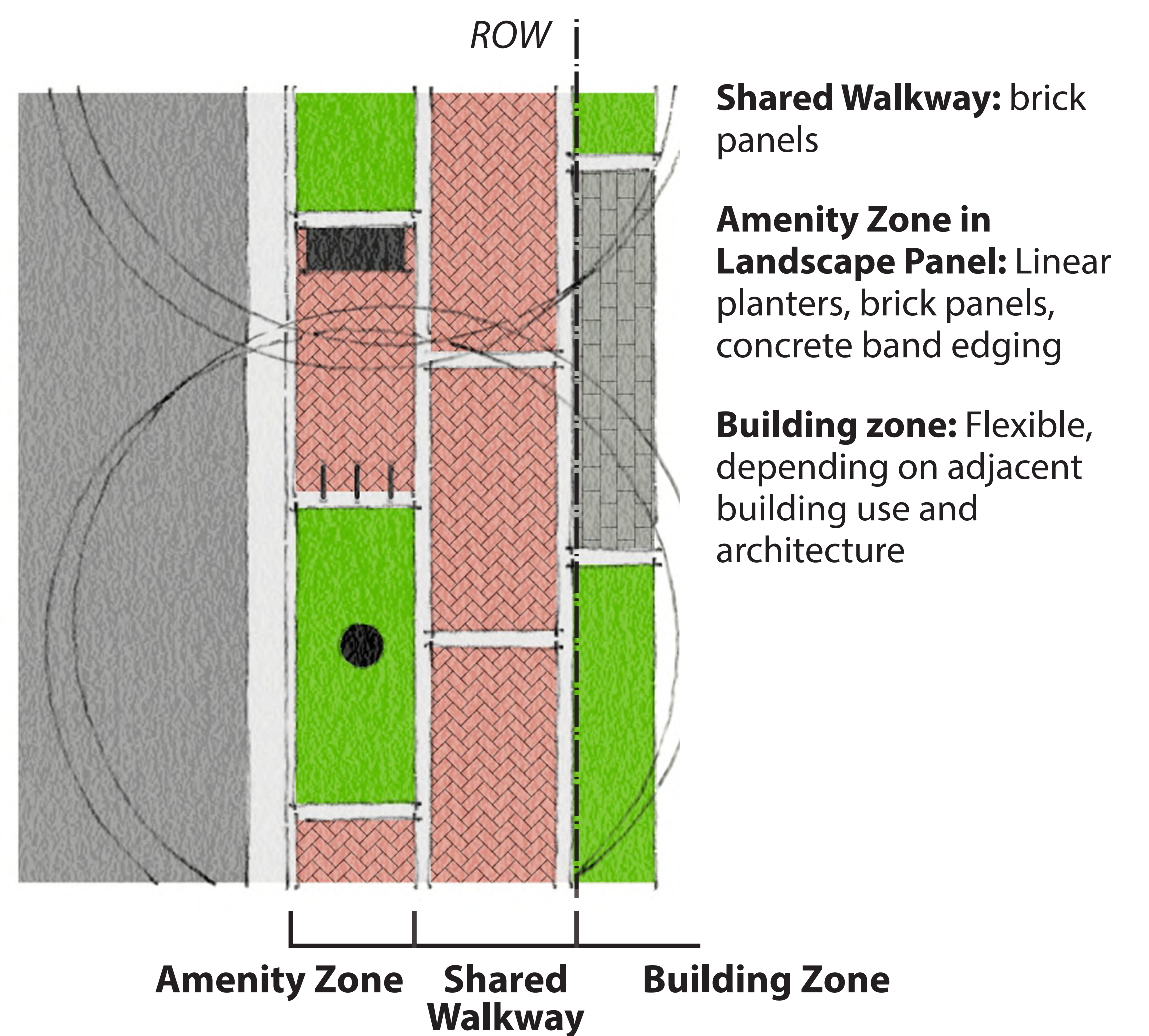
SIDEWALK
Provide sidewalk with brick paving and concrete band

TYPICAL INTERSECTION PLAZA

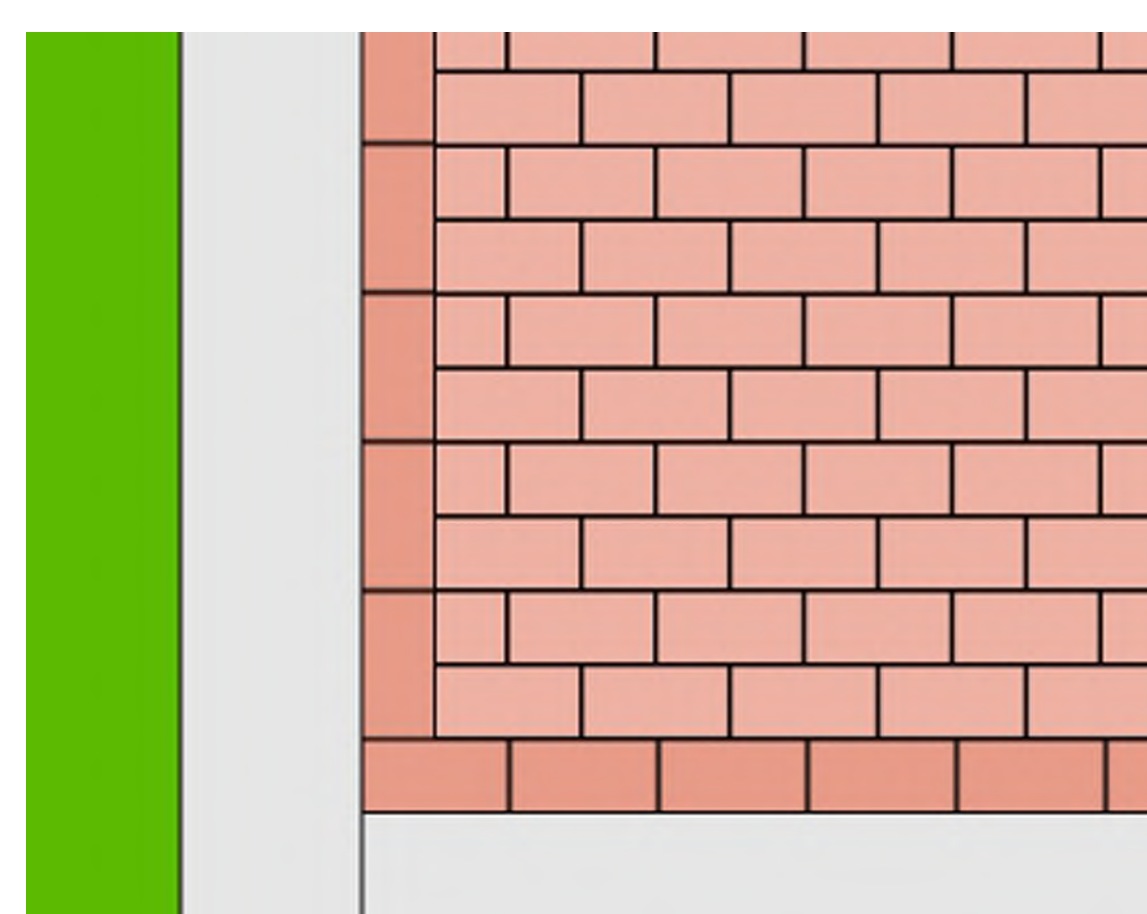
1. Ramp widths match width of the widest facilities on the corner
2. Facility width is continued through intersection with adequate clearance from vertical elements
3. High visibility crosswalk markings
4. Contrasting color detectable warning surfaces
5. Bike racks set back from intersection to allow for sight distance at intersection
6. Curb extension reduces crossing distance
7. Ramps are directional with two ramps per corner and ramps pointing in the direction of the crosswalk
8. Corner radius is small which allows directional ramps without pushing crosswalk too far back from adjacent right turn lanes to be seen
9. At signalized intersections, pushbuttons, if needed should be placed on the right side at the landing where a cyclist can reach them



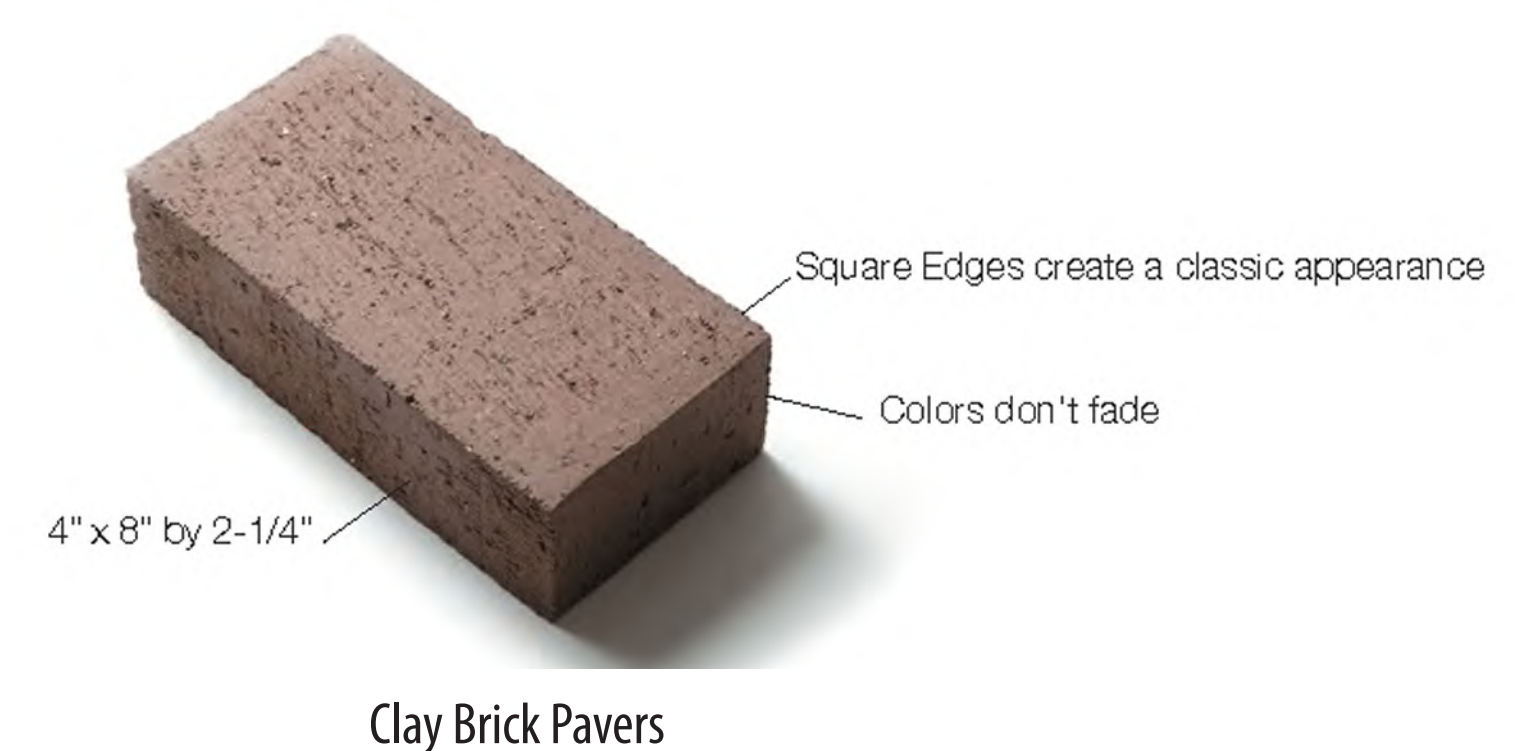
TYPICAL SIDEWALK & URBAN TRAIL PAVING



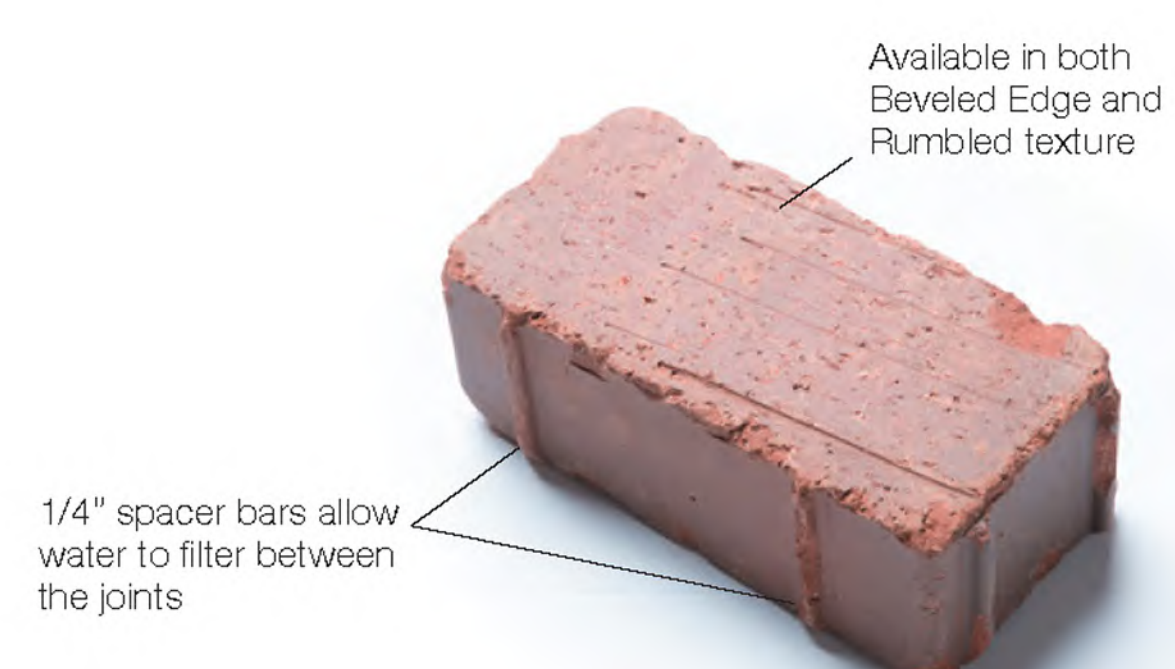
Preferred Pattern: Herringbone with running bond edging



Alternate Pattern for Certain Applications: Running bond with edging



Clay Brick Pavers



Permeable Brick Pavers

STREETSCAPES - TREES & ENVIRONMENTAL

DESIGN PRINCIPLES

1 Green Corridors

Tree planting should emphasize a diversity of native and non-invasive species that maximize tree canopy coverage to create continuous green corridors.



Boulevard Voltaire, Paris, France

2 Multi-strata Urban Landscapes

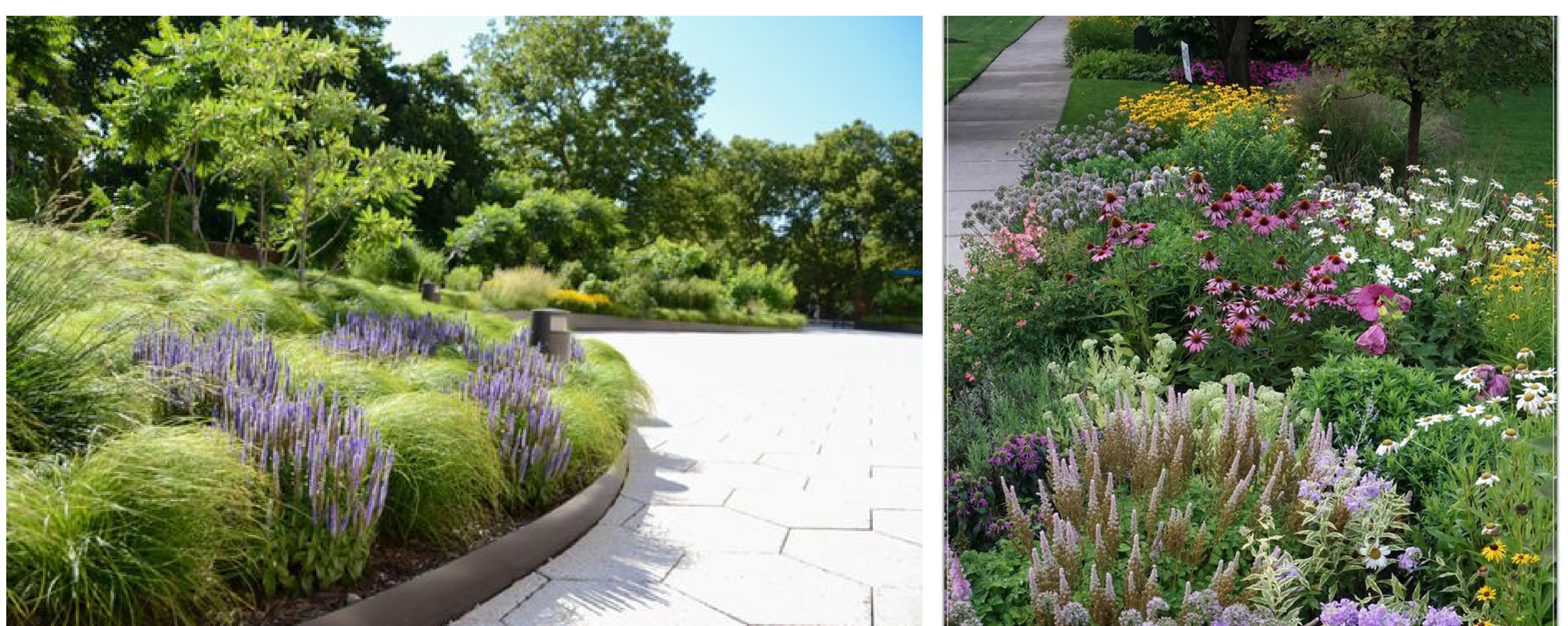
Multi-strata landscapes recreate or mimic natural conditions in an urban setting. Landscape plans should employ a full spectrum of plant materials from ground cover, shrubs, and large, shade trees to create multi-layered landscapes.



Klyde Warren Park, Dallas, Texas

3 Neighborhood Village Aesthetic

Informal planting design with flowering plants with bright colors to provide variety and interest to streetscapes + increase pollinator species. Plant specific tree species at certain locations or on certain streets.

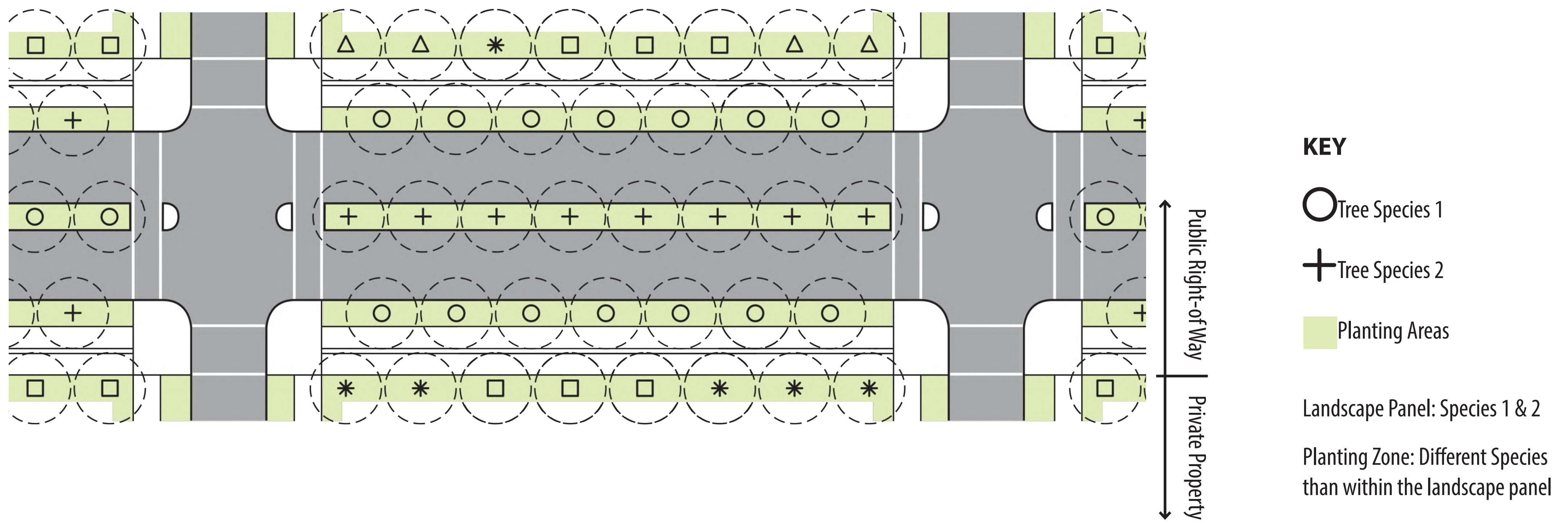


4 Low Maintenance Designs

In new developments, use native or non-invasive, drought resistant, hardy, and low-maintenance species to the extent feasible.



TREE PLANTING PATTERN FOR AVENUES - LANDSCAPE PANEL AND PLANTING ZONE



IMAGES OF TREES FOR AVENUES

Chain Bridge Road



London Planetree

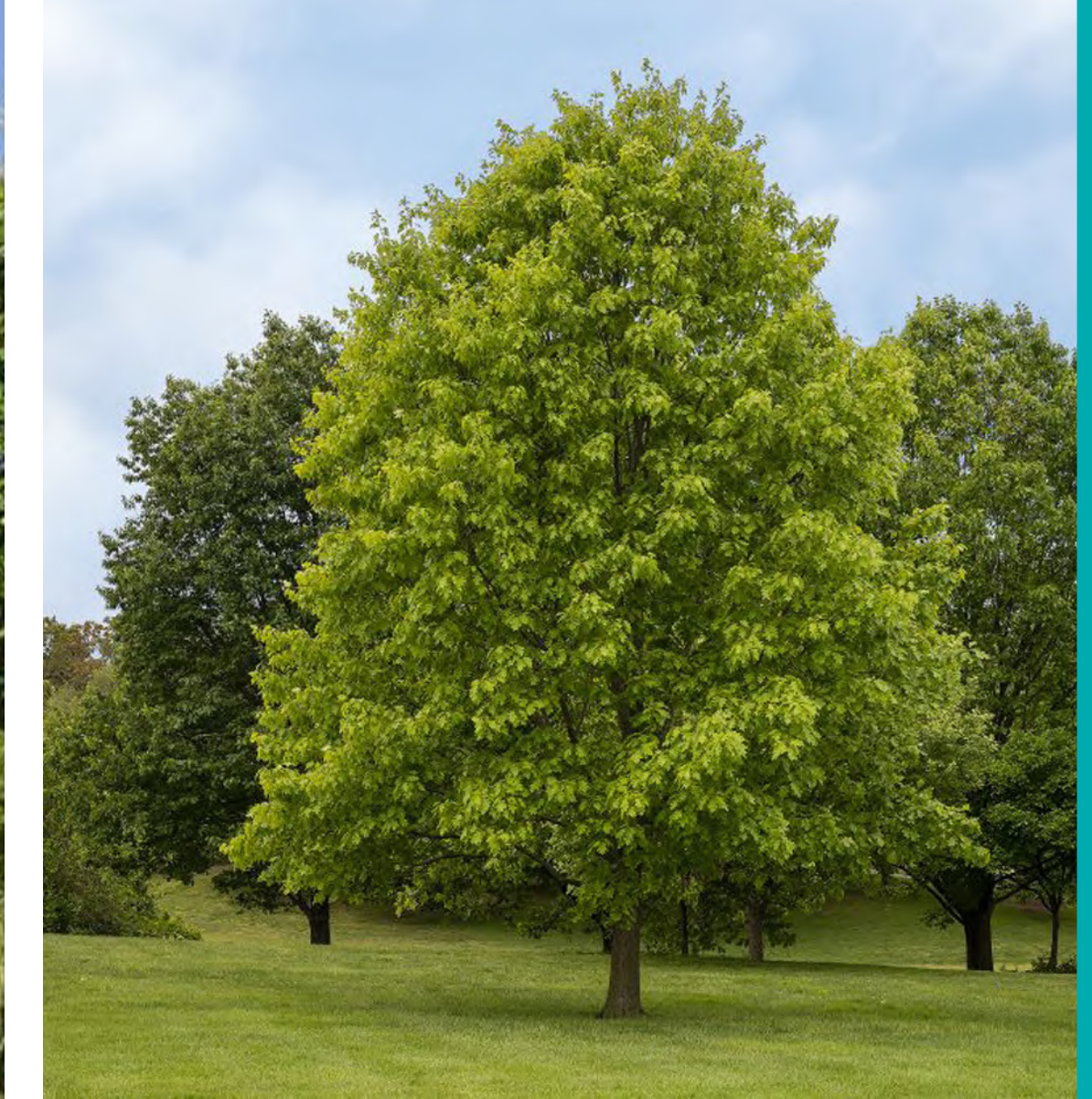


Lacebark Elm

Old Dominion Drive



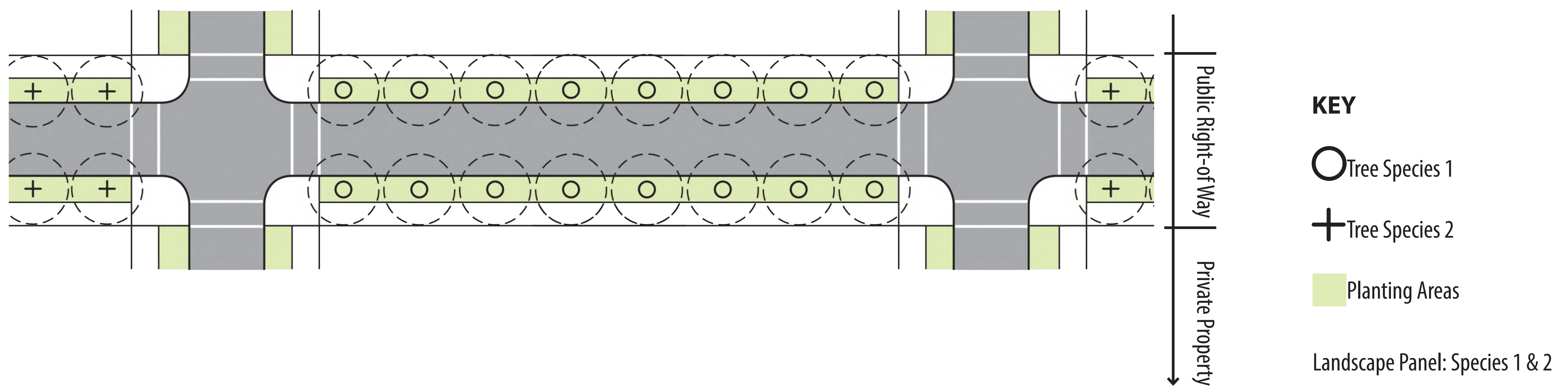
Black Gum



Northern Red Oak

Note: When bioretention planters are proposed, other species appropriate for bioretention facilities should be used.

TREE PLANTING PATTERN FOR LOCAL STREET - LANDSCAPE PANEL



IMAGES OF TREES FOR LOCAL STREETS

Beverly Road



Hackberry



Japanese Zelkova

Elm Street



Jefferson Elm



American Basswood

Note: When bioretention planters are proposed, other species appropriate for bioretention facilities should be used.

STORM WATER PLANTER DETAIL

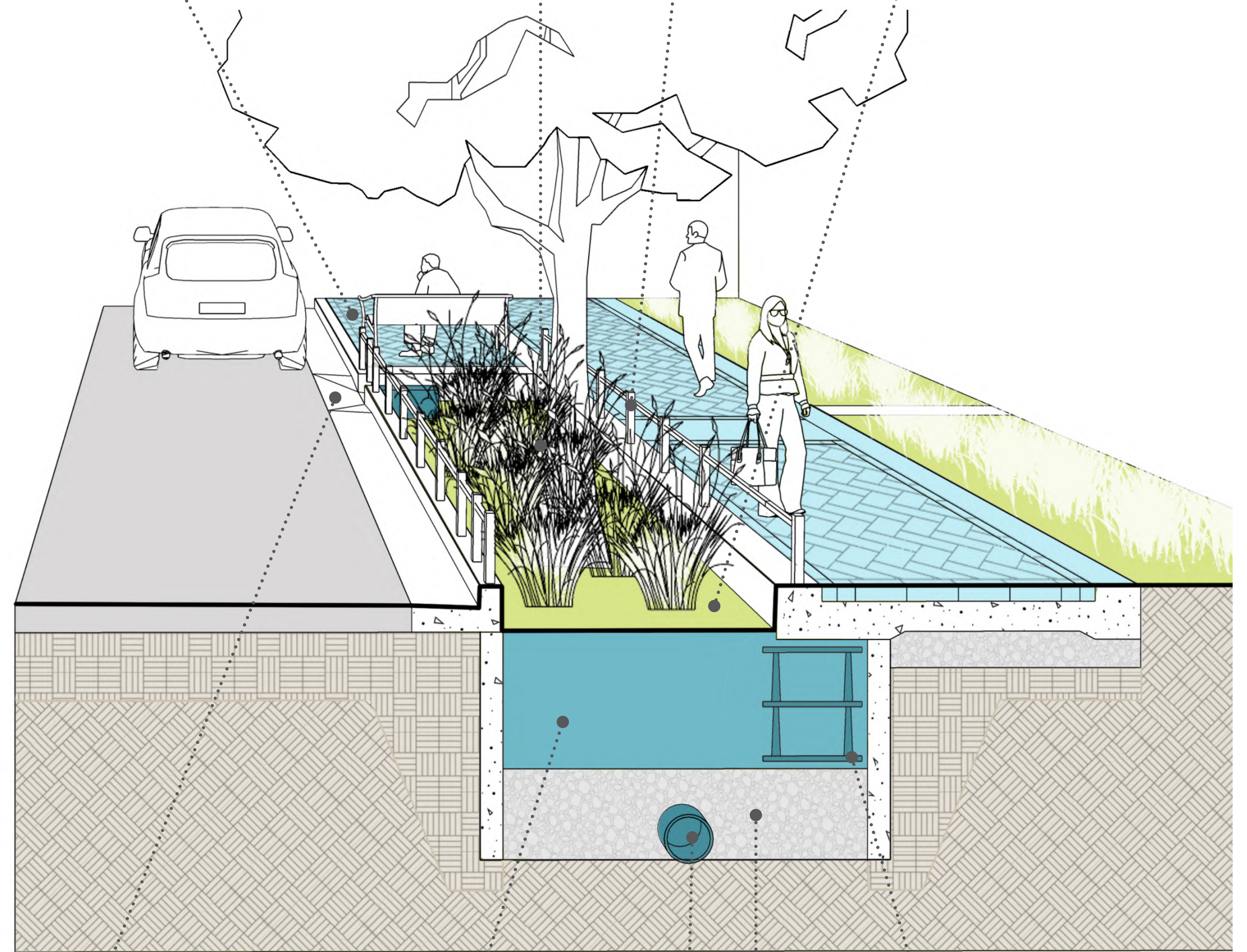


PERMEABLE PAVING
Connect permeable pavers to bioretention to enhance stormwater management at cut thru opportunities

BIORETENTION PLANTINGS
Use water-loving plants to fill bioretention areas

FENCING

LANDSCAPE PANEL
Landscaped buffer provided along roadways



INLET
Use a curb cut at bioretention facilities to manage overflow

BIORETENTION MEDIA

UNDERDRAIN

GRAVEL

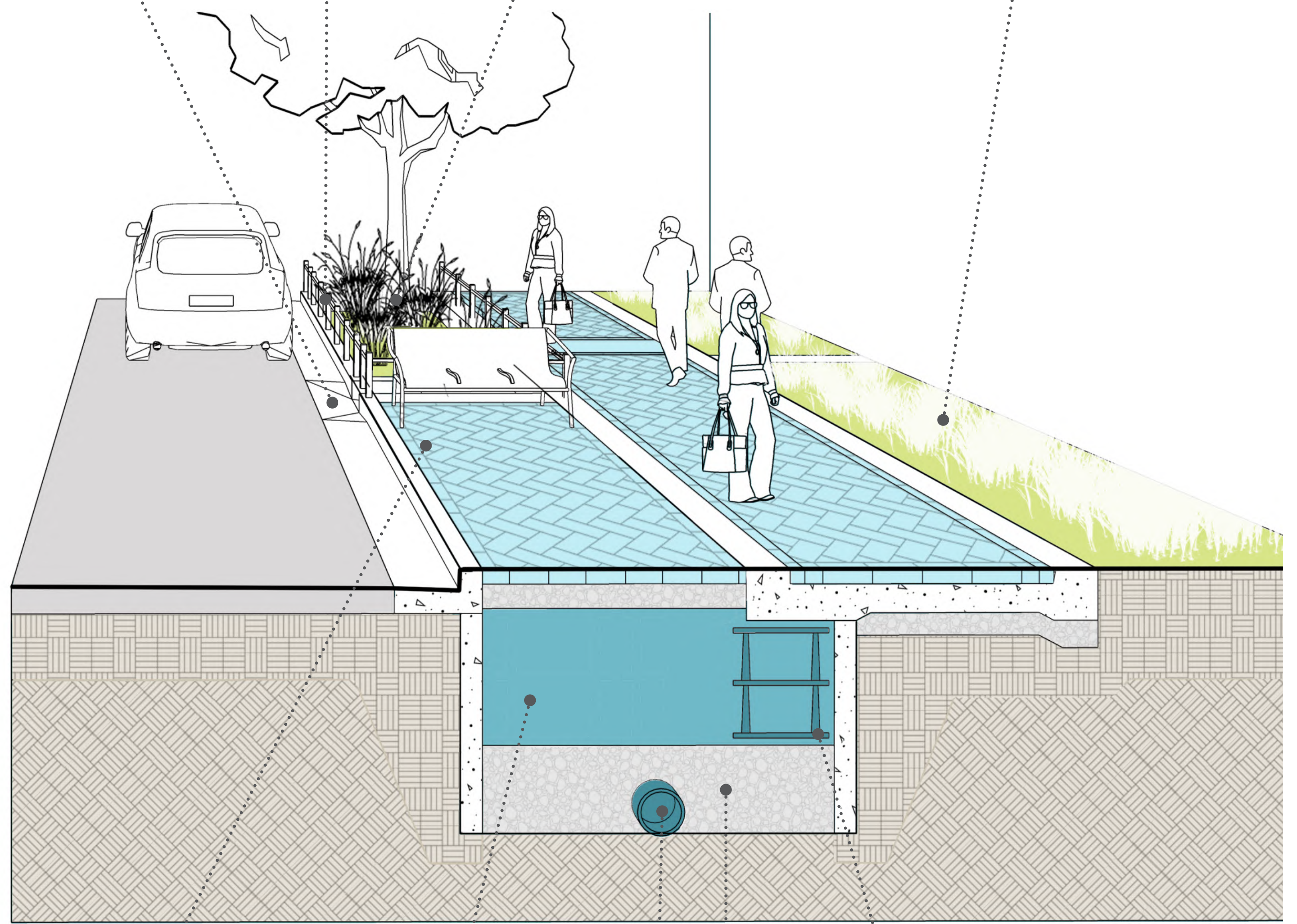
STRUCTURAL CELLS

INLET
Use a curb cut at bioretention facilities to manage overflow

FENCING

BIORETENTION PLANTINGS
Use water-loving plants to fill bioretention areas

PLANTING AREA
Add green space to buffer sidewalk



PERMEABLE PAVING
Connect permeable pavers to bioretention to enhance stormwater management at cut thru opportunities

BIORETENTION MEDIA

UNDERDRAIN

GRAVEL

STRUCTURAL CELLS

Question #2

Trees & Landscaping

Trees and landscaping are essential parts of creating beautiful, comfortable, and sustainable streets. In McLean all streets are planned to be lined with trees and landscaping along the curb. As new developments and street projects are built, trees and landscaping will be planted.

The Design Guidelines recommend different tree and planting designs for wider streets and narrower “main streets”. Old Dominion and Chain Bridge Roads are wider and will have a double row of trees with lots of shrubs and flowering plants. Beverly and Elm streets are narrower “main streets” that still maintain a healthy canopy of trees.

Chain Bridge and Old Dominion

Wider street trees and landscape design



London Olympic Village, London, UK

Elm and Beverly

Smaller “Main Street” Tree and Landscaping Design



Main Street, Greenville, South Carolina

A What do you think of this approach for street trees and landscaping?

Good, bad, I don't know. Other thoughts? Please write on a sticky note provided, and place them in the box below.

B Are there certain tree or plant species that you would like to see in McLean? If so, is there a particular street or place you would like to see them? Please write on a sticky note provided, and place them in the box below.

STREETSCAPES - FURNISHING & LIGHTING

SPECIFICATIONS - STREET LIGHT



Metroscape Full Cut-off - Preferred



Full Cut-off Acorn - Alternate

Existing streetlights in McLean are post-top Carlyle Acorn lights. These lights do not meet darksky guidance and therefore a new lighting style is recommended. In the public right-of-way and on private streets with public access, decorative post-top light fixtures are preferred to taller arm-mounted lighting. In some locations on Old Dominion Drive, Chain Bridge Road, and Dolley Madison Boulevard, taller, arm mounted fixtures may be necessary. All fixtures are generally provided and maintained by Dominion Energy, or other utility provider and site lighting designs must meet the county's Public Facility Manual standards and provider specifications.

Replacement of Existing Fixtures: as development occurs, older, non-compliant fixtures should be replaced with the fixtures recommended in these Guidelines.

- **Style:** Attractive fixture that contributes to the Neighborhood Village Concept and promotes pedestrian-scaled elements in the streetscape.
- **Performance:** LED, 2700-3000K (warm white light)
- **Technology:** "Smart City" enabled
- **Environmental Features:** Energy-efficient LED and Dark Sky compliant.
- **Color/material:** Black housing, aluminum

- **Preferred Fixture:** Signify brand Metroscape flat lens LED with Comfort Optics. *Note: as of the publication date of this document, the Metroscape has not been approved by Dominion Energy for inclusion into their standard fixture catalog. If the Metroscape is added to the catalog, it should be used for all developments.*
- **Alternative Fixture:** Full cut-off Acorn.
- **Post-Top Pole:** Decorative Fluted Tapered Composite.
- **Mounting Height:** 14-feet.
- **Installation Method:** Direct burial.
- **Arm-mounted Fixture (for wider roadways such as Avenues):** Decorative Shoebox (full cut-off), dark bronze housing with dark bronze decorative pole. Arm-mounted fixtures may be supplemented with post-top fixtures to illuminate streetscapes and pedestrian areas.
- **Arm-mounted Pole:** Dark Bronze Aluminum for Decorative Shoebox Luminaires
- **Mounting Height:** Varies.
- **Installation Method:** Direct burial.
- **Flag Brackets (where desired and permitted on any streetlight):** Black, aluminum brackets, ranging from 4.5 to 30-inches long, manufactured by Shakespeare Composite Structures.



Flag Brackets



Decorative Shoebox - Arm-mounted Fixture for Wider Roadways (where necessary)

SPECIFICATIONS - BENCHES



Image Credit: Landscape Forms©

Landscape Forms - Melville Bench shown with powder coated bronze color and redwood



Image Credit: Landscape Forms©



Image Credit: Forms + Surfaces©

Forms + Surfaces - Cordia Bench shown with powder coated dark bronze and Jatoba hardwood



Image Credit: Forms + Surfaces©

Landscape Forms - Melville Bench Materials
 Powdercoated colors:
 1 - Stone
 2 - Bronze
 3 - Black Gloss
 Hardwood:
 4 - Ipe
 5 - Redwood

Forms + Surfaces - Cordia Bench Materials
 Powdercoated colors:
 1 - Dark Bronze Metallic Texture
 2 - Slate Gloss
 3 - Black Gloss
 Hardwood:
 4 - Cumaru
 5 - Jatoba

Furnishing Specs

1. **Material:** Mix of wood and factory powder-coat aluminum or steel.
2. **Style:** Traditional or Modern Transitional style. Center divider arm preferred.
3. **Color:** Black, warm gray, or dark green powder coated metal, natural-oiled finish hardwood. Wood should be FSC certified.
4. **Size:** 48-78"
5. **Installation Method:** Surface-mounted or embedded to a concrete pad/footer with brick over.
6. **Location and Orientation:**

Benches

- Oriented perpendicular to streets in the landscape panel.
- Near intersections and near building entrances.
- ~500-feet spacing along Old Dominion Drive and Chain Bridge Road.
- ~200-feet along Elm and Beverly Roads.
- Along publicly-accessible linear parks and trails. Parallel to the walkway. ~200-feet spacing.

Bike Racks

- Within ~50 feet of primary building entrances.
- Near bike access routes to parks and trails.
- In the streetscape, locate racks within the Amenity Zone in the Landscape Amenity Panel. Do not place within a cycle track, urban trail, sidewalk.
- Spaced a minimum of 3-feet apart, a minimum of 2.5-feet from surrounding vertical objects, and set back a minimum of 3-feet from the sidewalk.

Trash Receptacles

- **Co-Location of Trash and Recycling:** Place receptacles in pairs of (1) trash and (1) recycling receptacle with each installation.
- **Location and Frequency in Parks:** In all urban parks, along publicly-accessible linear parks and trails near points of entry.
- **Location and Frequency on Avenues and Main Streets (Beverly and Elm):**
 - **Streetscapes:** Next to benches along streets within the Amenity Zone in the Landscape Amenity Panel or near intersections. Do not place within a cycle track, urban trail, sidewalk.
 - **Frequency:** Every development with at least 100-feet of public street frontage, should include at least one pair of receptacles. Generally, receptacles should be spaced every 250 to 400-feet.
- **Location and Frequency on other Local Streets:** At least one pair of receptacles per block on blocks longer than 200-feet.

SPECIFICATIONS - BIKE RACKS



Image Credit: Landscape Forms©

Landscape Forms - Emerson Bike Rack shown with powder coated bronze



Image Credit: ANOVA©

ANOVA - Tandem Bike Rack shown with powder coated textured bronze



Landscape Forms - Emerson Bike Rack Materials
 Powdercoated colors:
 1 - Stone
 2 - Bronze
 3 - Black Gloss



ANOVA - Tandem Bike Rack Materials
 Powdercoated colors:
 1 - Textured Bronze

SPECIFICATIONS - TRASH & RECYCLING CANS



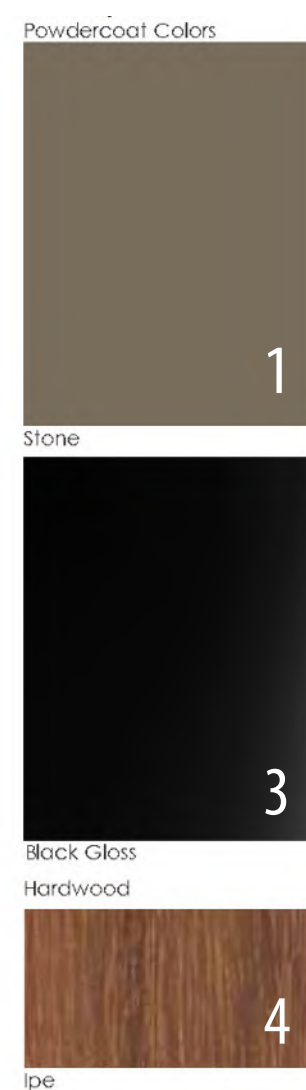
Image Credit: Landscape Forms©

Landscape Forms - Poe Receptacle shown with powder coated bronze

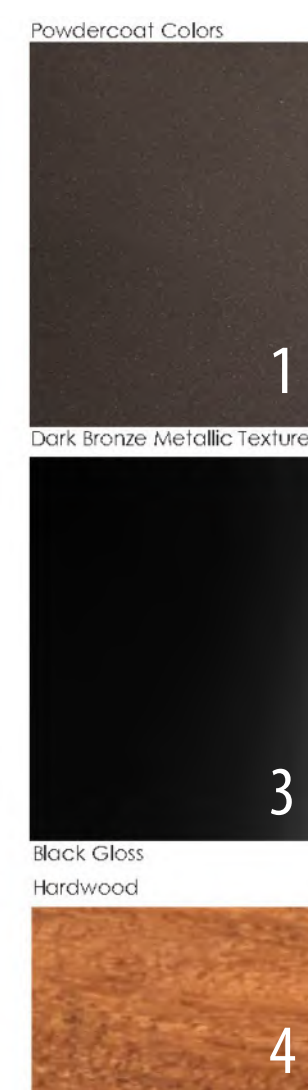


Image Credit: Forms + Surfaces©

Forms + Surfaces - Cordia Receptacle shown with powder coated dark bronze and Jatoba hardwood



Landscape Forms - Poe Receptacle Materials
 Powdercoated colors:
 1 - Stone
 2 - Bronze
 3 - Black Gloss
 Hardwood:
 4 - Ipe
 5 - Redwood



Forms + Surfaces - Cordia Receptacle Materials
 Powdercoated colors:
 1 - Dark Bronze Metallic Texture
 2 - Slate Gloss
 3 - Black Gloss
 Hardwood:
 4 - Cumaru
 5 - Jatoba

SPECIFICATIONS - BUS SHELTERS

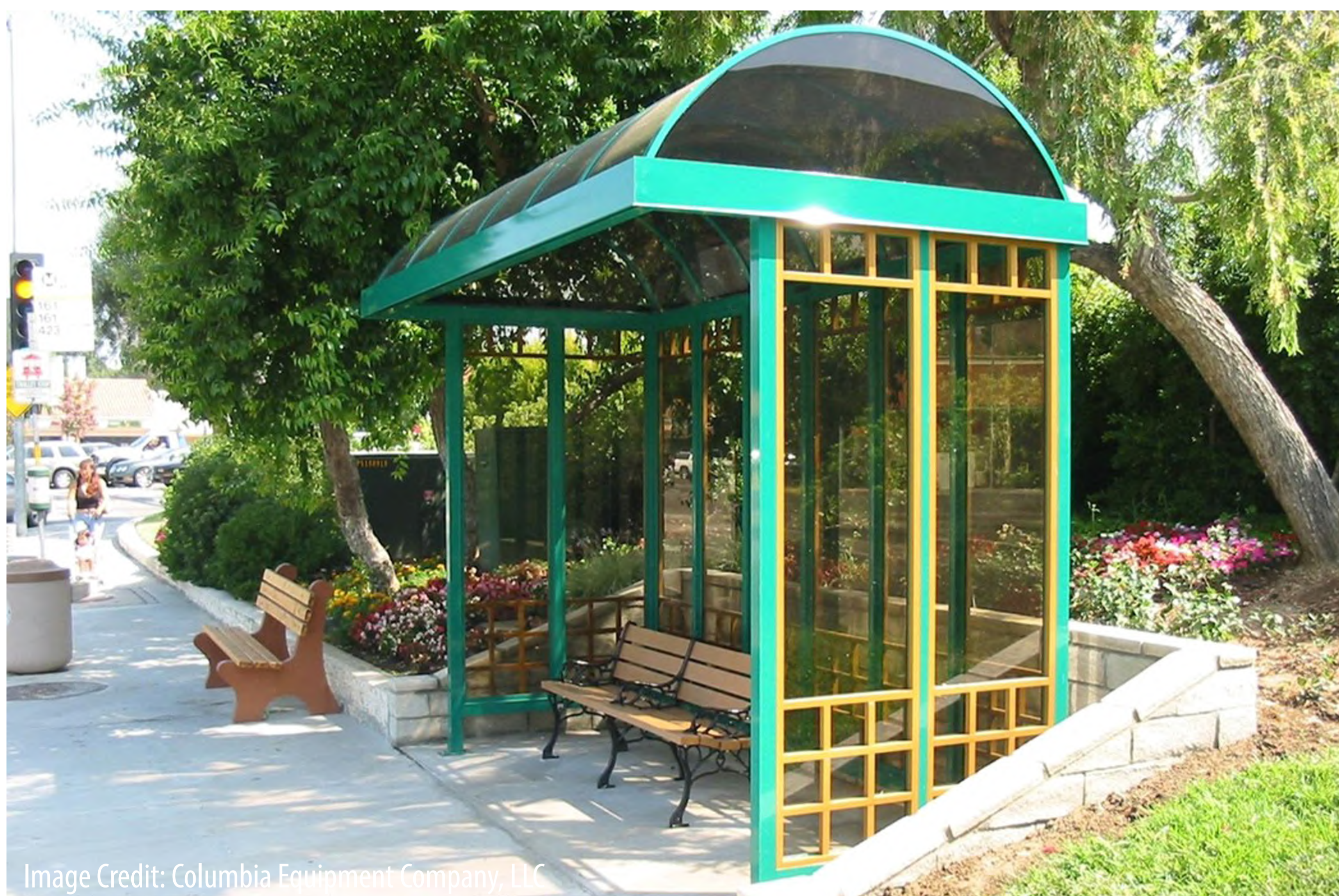


Image Credit: Columbia Equipment Company, LLC

Columbia Equipment - Bradford Shelter shown

The style of the bus shelter contributes to McLean's character. For consistency, the specific shelter listed below should be used for all new bus shelter facilities in McLean. There are many available options for mounting, lighting, materials, and other technologies and property owners should work with FCDOT on the specific transit shelter features.

Shelter Pad

6-inch thick, reinforced concrete pad that is a minimum of 12.5-feet long by 6-feet wide and that is connected directly to the sidewalk for accessibility purposes.

If the transit shelter is to be located on a street with an 8-foot wide Amenity Zone, the transit shelter pad should be 8-feet in width to provide a contiguous surface from the curb to the sidewalk.

Shelter Structure

Columbia Equipment Co., Model #8002S

Colors: Shelter framing is powder coated with RAL 6028. Grilles are a Golden Gauge finish.

Question #3

Street Furnishings

Streetscapes, including sidewalks, trees, lighting and furnishings are important to the look and feel of McLean and to help make the area safe and comfortable for pedestrians.

Proposed furnishings are characterized as a classic style that lies somewhere between traditional and modern styles. Finishes include powdered-coated metals in a warm gray or black colors with sustainable woods to add warmth. The following images of benches, trash and recycling receptacles, bike racks, and streetlights embody these characteristics.

A **Select the furnishings that you would want to see in McLean. You can select as many as you like** Place a dot in the space next to the image of your selection



B **Why do you like your selections?** Place a dot in the space next to your choice below

Attractive

Fits McLean's style

Appears comfortable

Other

C **Anything else you like to share about street furnishings?** Please write on a sticky note provided, and place them in the box below.

BUILDING FRONTAGES

Introduction

The Comprehensive Plan envisions a visually cohesive built environment across the McLean CBC. Central to implementing this vision is building design - how buildings relate to the street and public spaces, how they integrate with and transition to surrounding land uses, and how they combine to contribute to the CBC's character. Especially important is how the space between the public streetscape and building façade, known as the Building Zone, is designed. Building Zone treatments should be influenced by the building's use(s) and the adjacent street's character.

This chapter addresses the design of building frontages as well as how buildings should relate to their context. Building heights are described in the Vision and Guiding Planning Principles of the McLean Comprehensive Plan.



Image Credit : David M. Schwarz Architects

Washington, DC

DESIGN PRINCIPLES ON SITE DESIGN & ARCHITECTURE

1 Block Pattern & Scale

The architecture of McLean should be considered at multiple scales. To fit in with the existing context and promote the Neighborhood Village concept, new developments should reflect historical block patterns when designing building footprints.



Washington, DC

2 On-site Parks & Midblock Connections

Parks and pedestrian midblock connections should be incorporated into site designs from project conception and not considered as an afterthought. Designers should identify opportunities to connect to existing open spaces and pedestrian pathways so that individual site improvements are part of the greater whole.



Bethesda, MD

DESIGN PRINCIPLES ON SITE DESIGN & ARCHITECTURE

3 Context & Transitions

Proposed projects should study the context and neighboring uses to ensure compatible transitions that minimize impacts to existing development.

Step-downs, step-backs and roof terracing in particular can improve transitions between higher-density developments and lower-density residential neighborhoods.

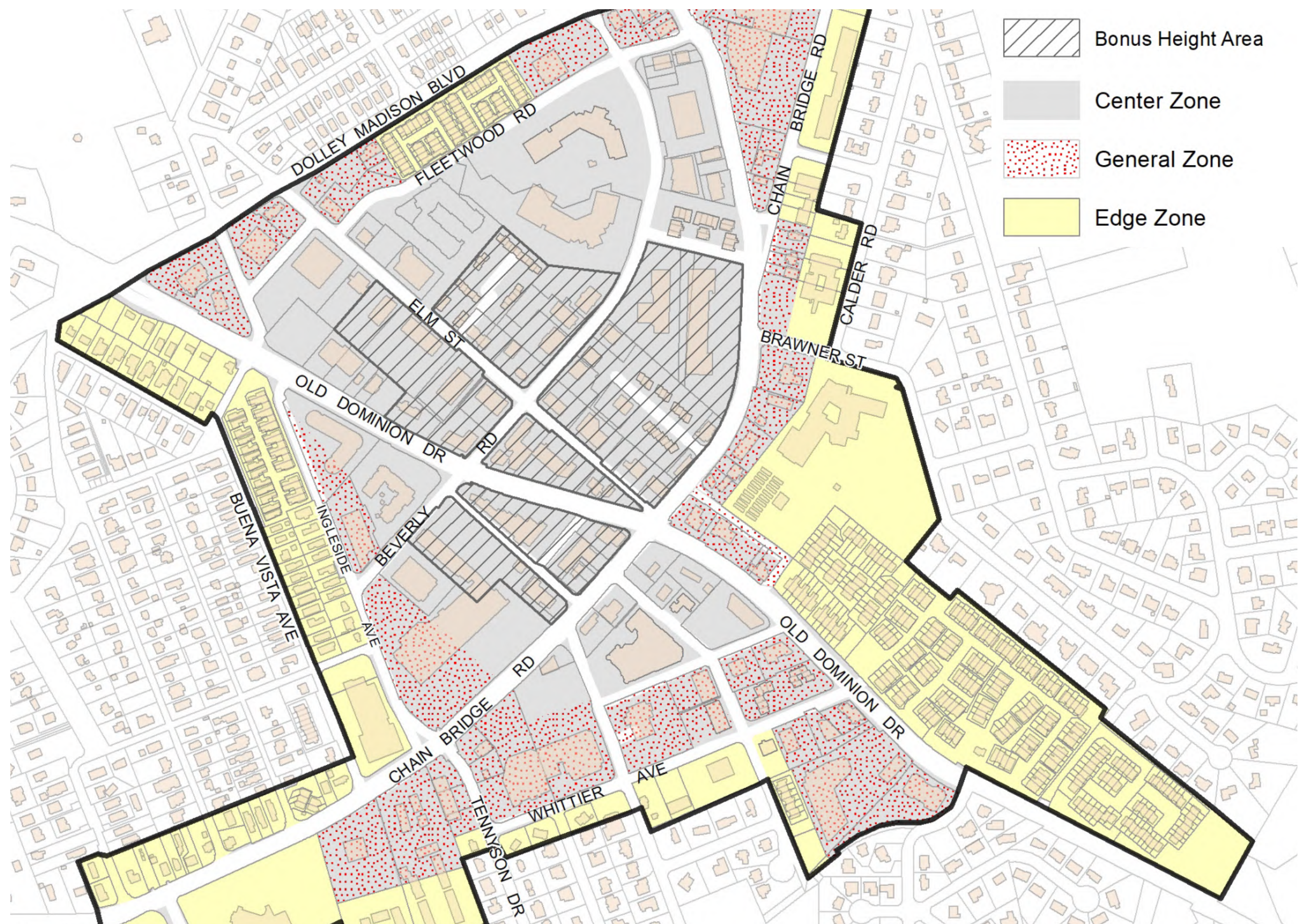


Alexandria, VA

4 Developments in the Edge Zone

New projects within the Edge Zone should carefully study the relationship between the proposed building and existing neighborhoods that are adjacent to the CBC.

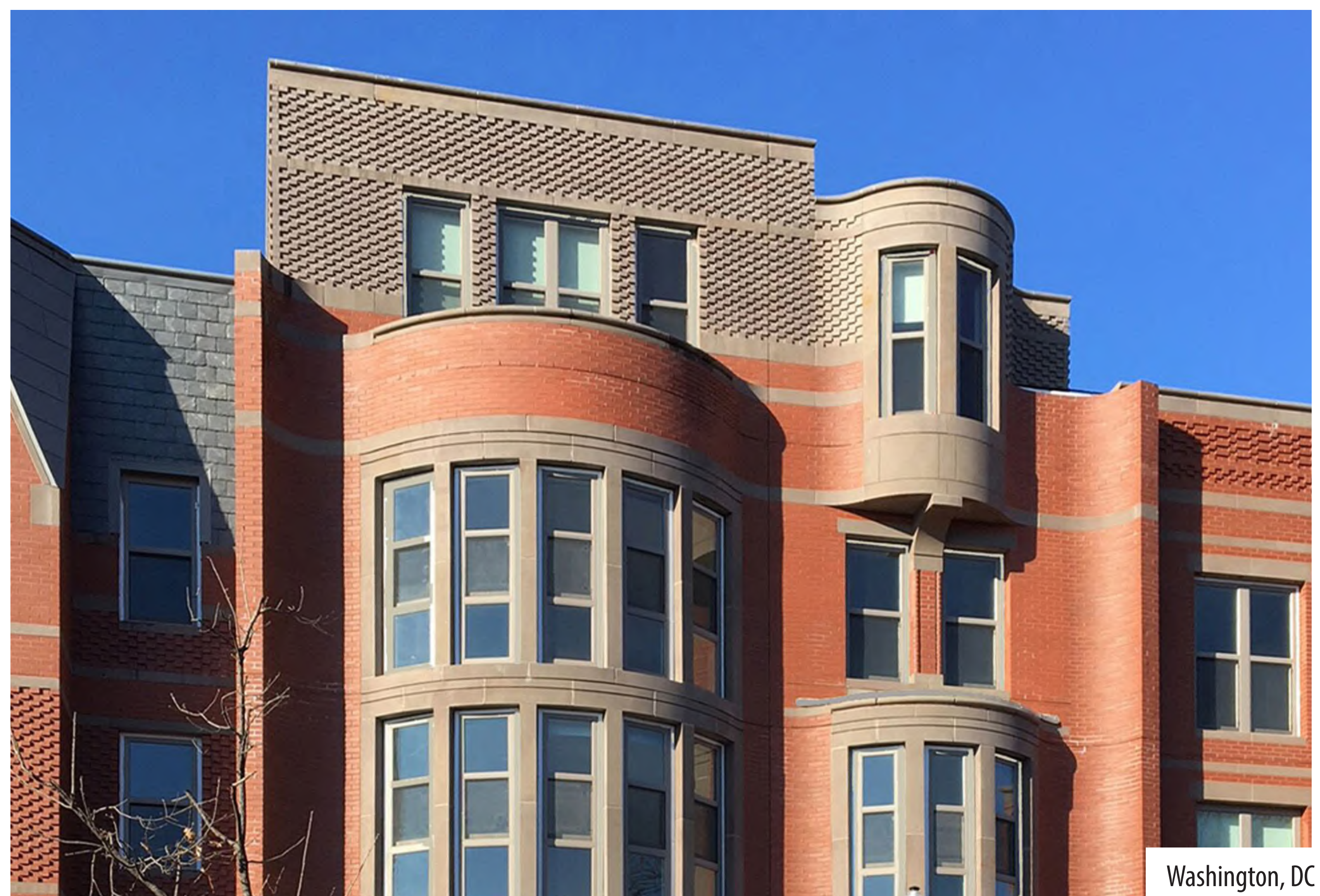
When next to existing residential, new, taller buildings should transition or step down particularly when adjacent to lower height residences that are outside of the CBC boundaries.



5 Style & Materiality

Diversity of architecture style, materiality, and scale is encouraged. Quality materials with timeless design as well as natural and authentic materials should be used to reflect a high-quality and substantive built environment. Exploration of vernacular architectural design language is highly encouraged.

Avoid franchise architecture which uses corporate identity features to market a company brand.



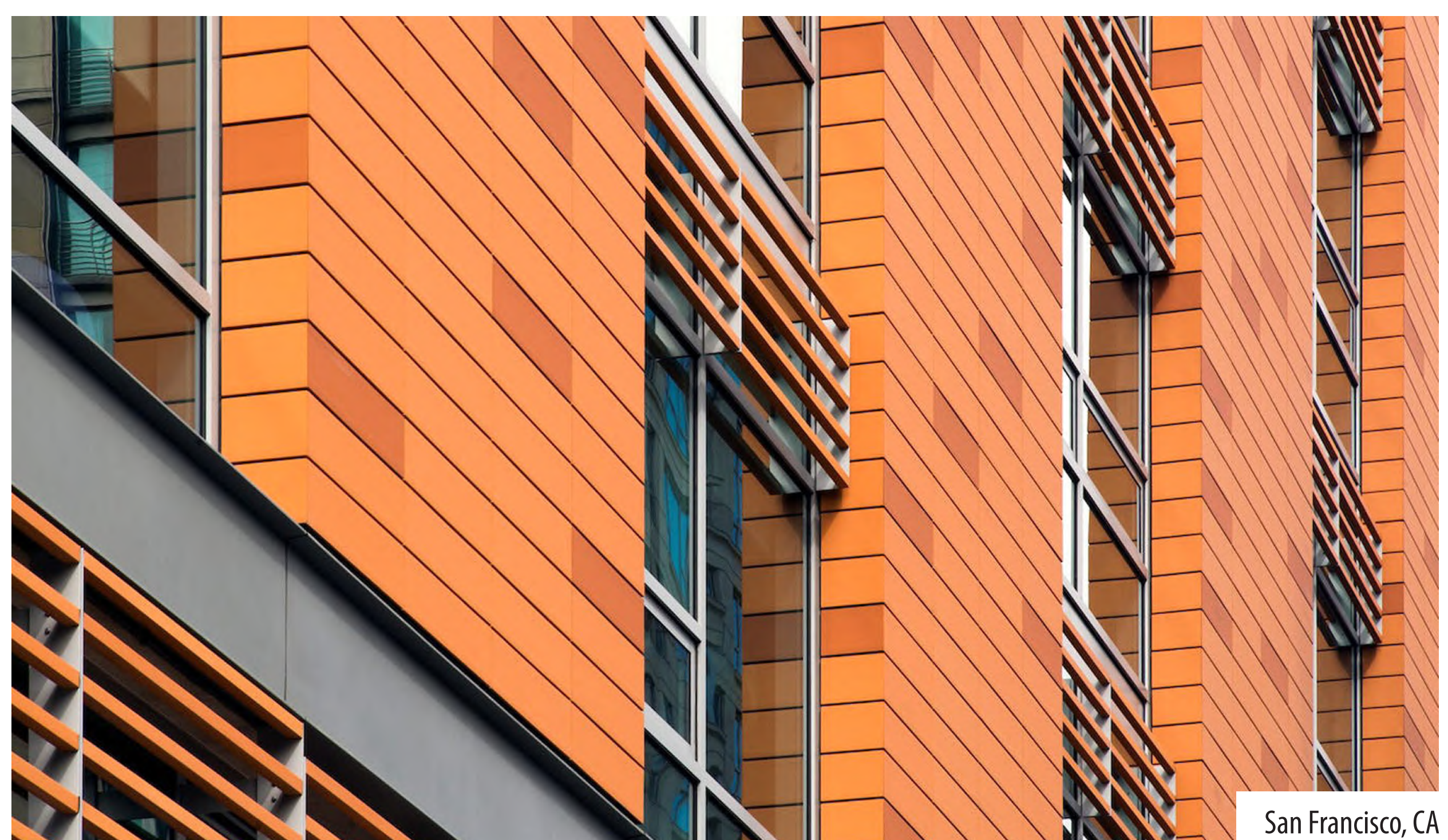
Washington, DC

6 Facade Articulation

Building exteriors should be well proportioned and articulated to create a human-scaled pattern.

Consider the role of shade, shadow, and depth to form dynamic facades, particularly around fenestration. Employ designs that frame, add depth, or create shadow lines around windows, doors, and other openings.

Avoid flat, monolithic buildings.



San Francisco, CA

DESIGN PRINCIPLES ON SITE DESIGN & ARCHITECTURE

7 Built-to-Line

Proposed developments should adhere to build-to lines (In McLean, the build-to line is the edge of the Building Zone) as recommended for each street type in the McLean Comprehensive Plan.



Brooklyn, NY

8 Design Building Zones for Public Interaction

Building Zone (space between the sidewalk and building face) and other semi-public or semi-private spaces should be designed for social interaction and to conduct passive activities such as people watching, eating lunch outdoors, or chatting with friends.



Renton, WA

9 Active Building Frontage along Key Streets and at Important Nodes

Building ground floors (first 20-feet of building height) should engage the adjacent street or public space and have active uses or pedestrian-oriented facades. The first two floors should comprise human scale designs that contribute to a neighborhood village feel.



Bethesda, MD

10 Arcades, Colonnades & Low Walls

These are three common design features noted in the existing architecture of McLean. These should be incorporated into new developments to proliferate the McLean character.



Rosemary Beach, FL

Building Frontages - By Use

MULTI-FAMILY RESIDENTIAL

PRIVATE TERRACE
Provide private entry and outdoor space for residents

BIKE RACKS
Provide parking for bikes to encourage multimodal transportation

FACADE LIGHTING
Provide lighting for residents and the public realm

BUILDING MOUNTED SIGNAGE
Provide informational signage on building facade

STREET ORIENTED ACCESS
Create a sense of arrival and hierarchy with architectural features and paving

PRIVATE TERRACE
Provide private outdoor space for residents

STREETScape FURNISHINGS
Provide seating for pedestrians

PLANTING AREA
Add green space to buffer sidewalk from traffic

MULTIMODAL PARKING
Provide parking for multimodal transportation

INTERSECTION PLAZA
Add paving to make corner a distinct destination

LANDSCAPE BUFFER
Provide foundation plantings at buildings to soften scale for pedestrians; create a sense of separation between private and public spaces

OFFICE

PATIO STYLE SEATING
Provide outdoor patio seating for office users

BIORETENTION
Performs stormwater management, integrated seating, and green space

STREET ORIENTED ACCESS
Create a sense of arrival and hierarchy with architectural features and paving

MONUMENT SIGN
Provide pedestrian-scaled signage

BIKE RACKS
Provide parking for bikes to encourage multimodal transportation

LANDSCAPE BUFFER
Provide foundation plantings at buildings to soften scale for pedestrians; create a sense of separation between private and public spaces

MULTIMODAL PARKING
Provide parking for multimodal transportation

INTERSECTION PLAZA
Add paving and amenities to make corner a distinct destination

INTEGRATED SEATING
Provide pedestrians and office users a place to sit near green spaces

SHIELD UTILITIES
Keep utilities within building zone and shield

PLANTING AREA
Add green space to buffer sidewalk from traffic

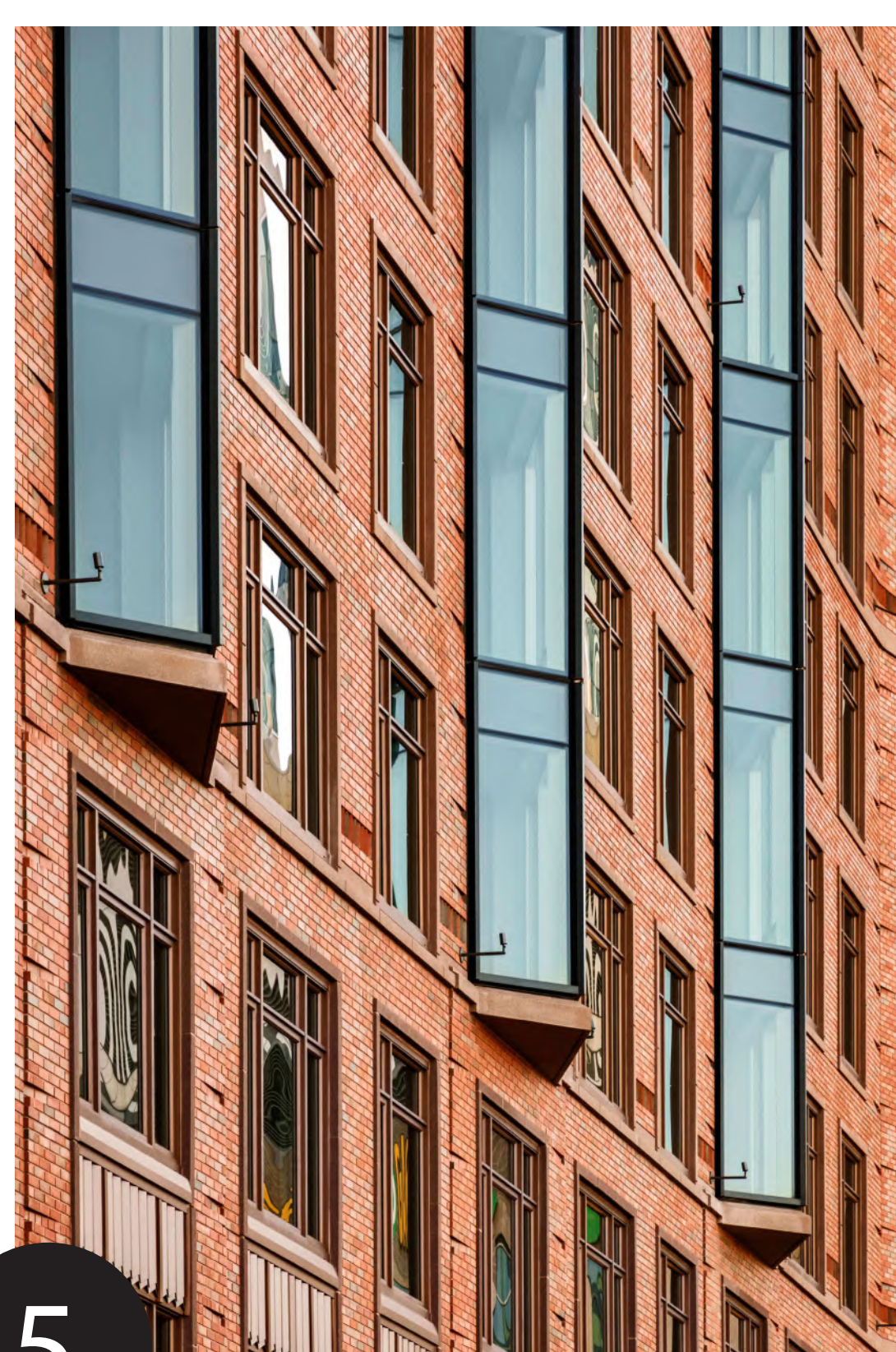
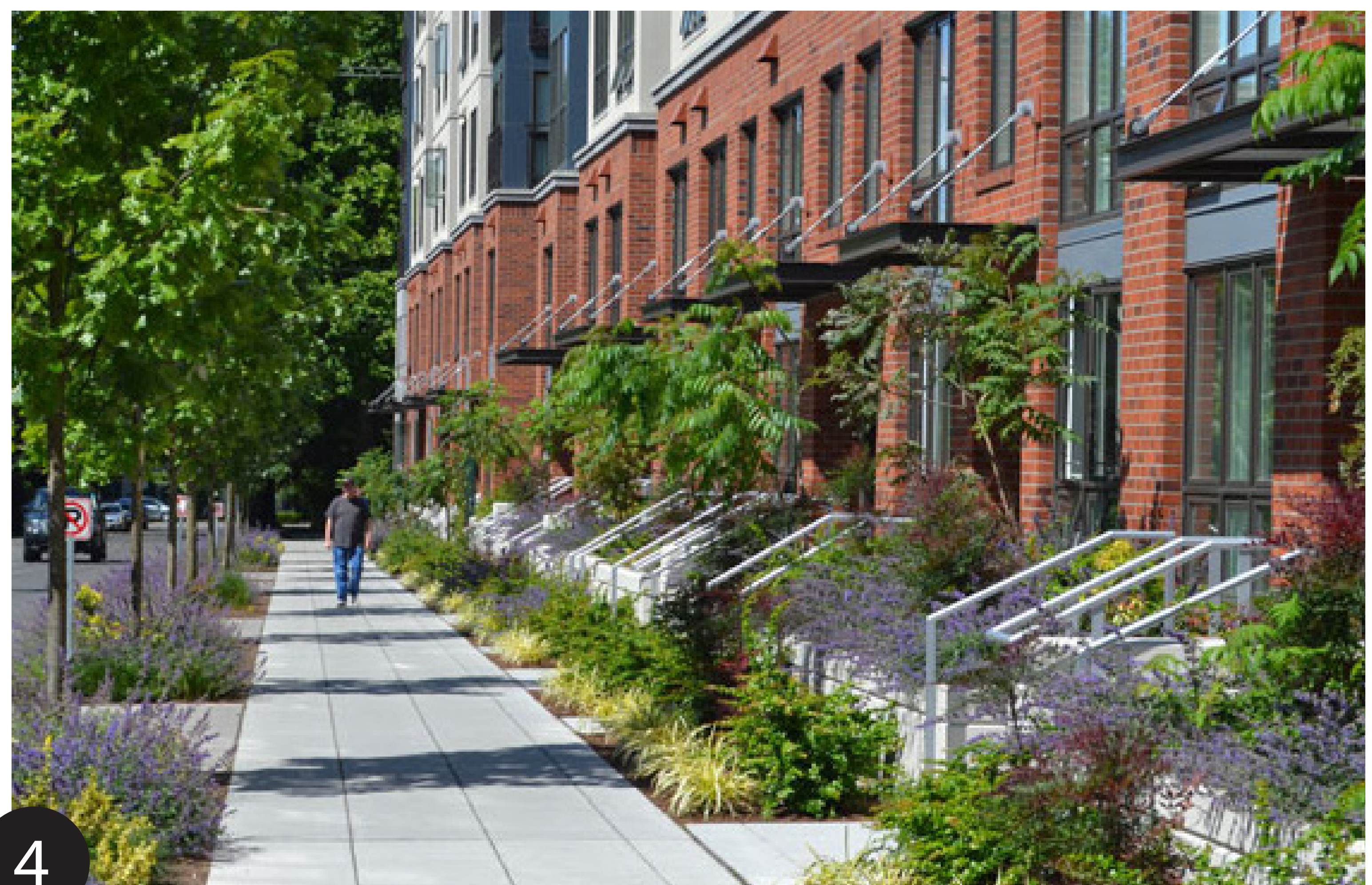
STREETScape FURNISHINGS
Provide seating for pedestrians

Question #4

Building Frontages

The Design Guidelines do not advocate for a particular architecture style in McLean. However, example images are shown in the Design Guidelines that illustrate preferences, so it is important that images reflect community preferences.

A How well do the building images exemplify what you would like to see in the Design Guidelines? Please place green dots on the image you like and red dots on the ones you don't like.

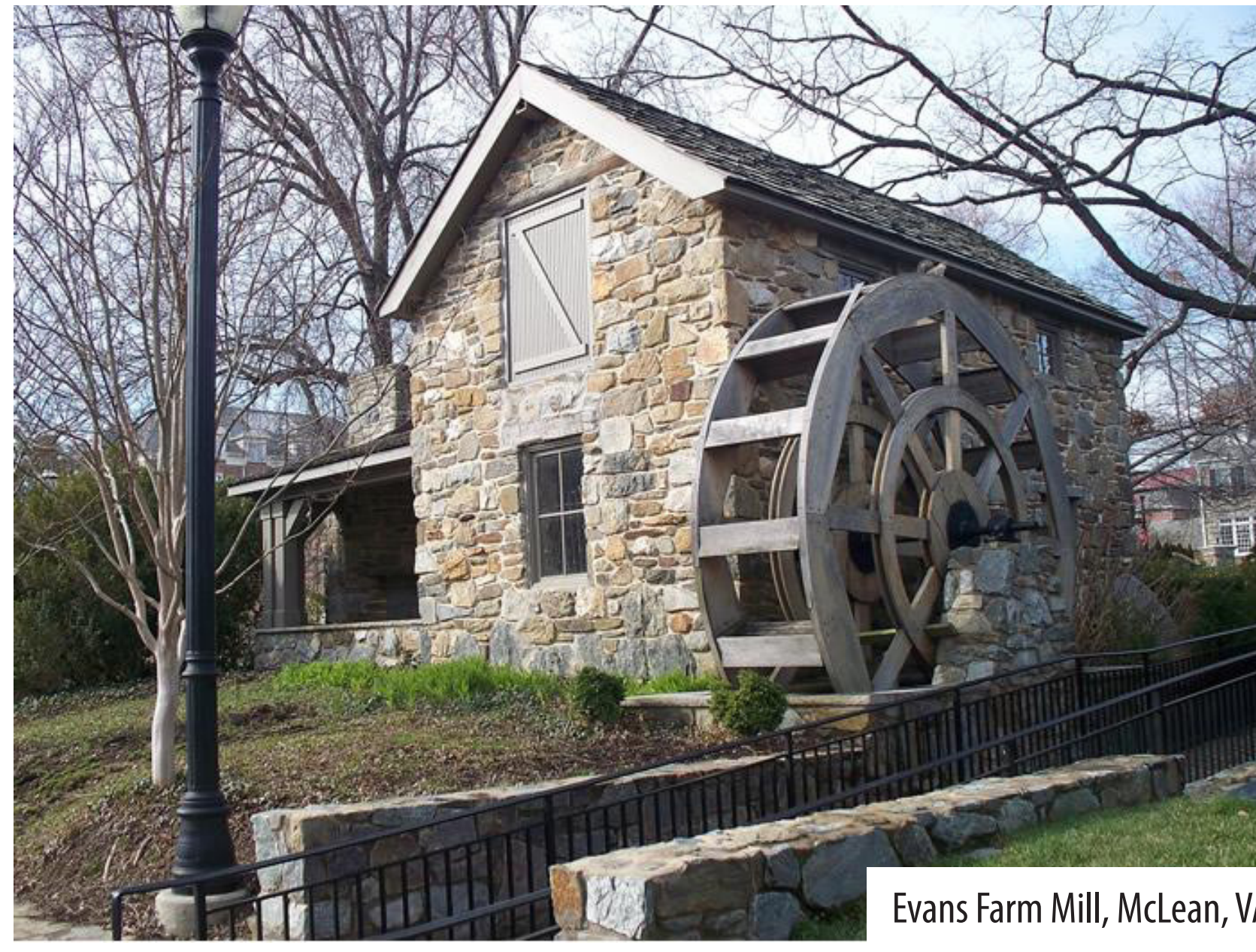


Vernacular Architecture Visual Survey

Local Historic Structures



McLean, circa 1968



Evans Farm Mill, McLean, VA

Historic Structures of the Region



Gadsby's Tavern, Old Town Alexandria



Carlyle House, Old Town Alexandria



Stabler Leadbeater Shop, Old Town Alexandria

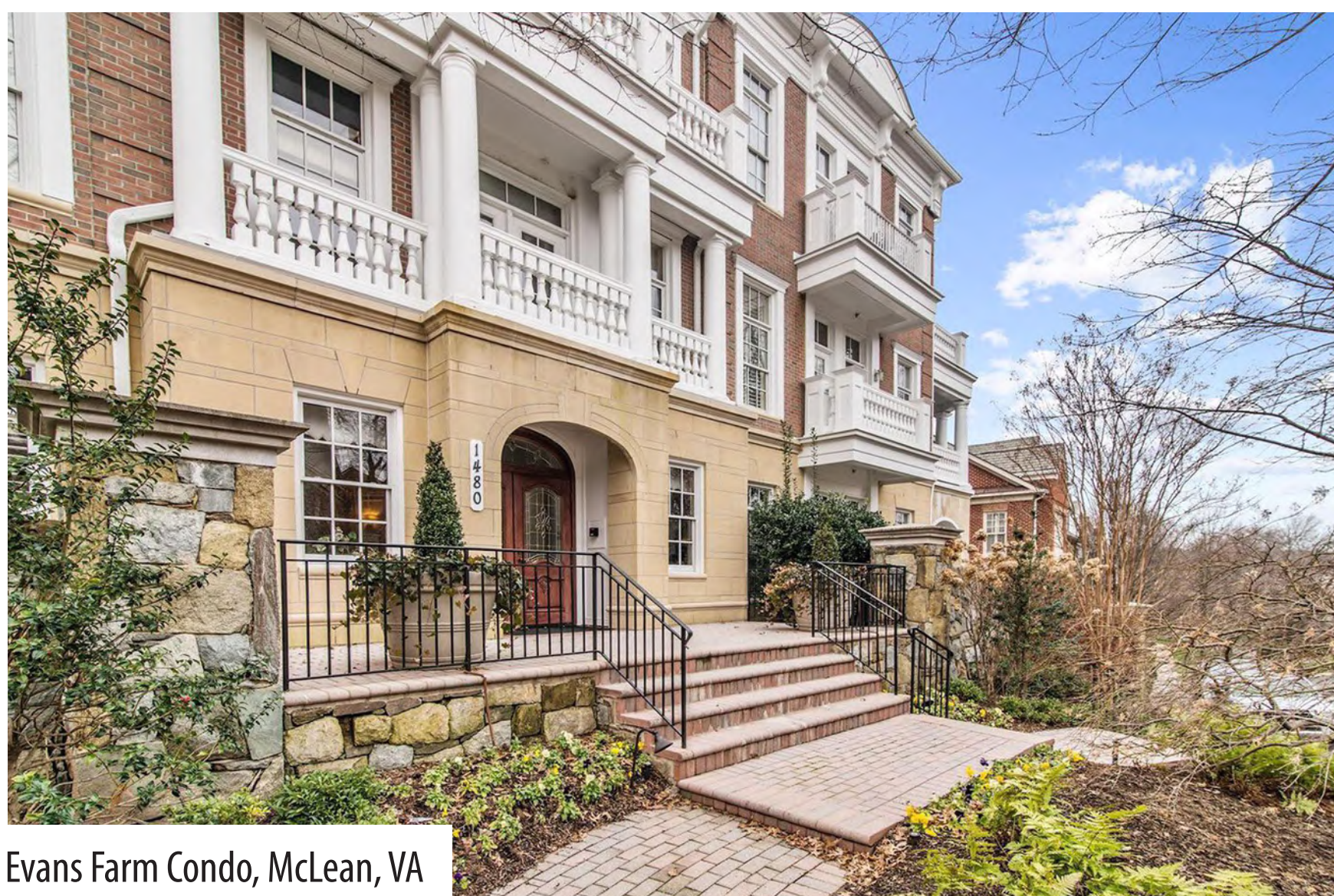


Forrest Marbury House, Georgetown



City Tavern Club, Georgetown

Local Architectural Assets



Evans Farm Condo, McLean, VA



Evans Farm Town Homes, McLean, VA



The Signet, McLean, VA



The Palladium, McLean, VA

B Please share additional vernacular architecture examples

PARKS

PARK & OPEN SPACE PRINCIPLES

1 Create a Park Network

A collection of park spaces that are connected by sidewalks and off-street pathways should form the park network in McLean. A range of park types, including a Signature Park, linear parks, and pocket parks create a diversity of social and recreational experiences and which form continuous green corridors that promote a healthy environment.



McLean, VA

2 Integrate Existing Assets

Parks and open spaces should be designed to enhance existing amenities such as retail areas, residential communities, and pedestrian-oriented streets. They should incorporate and/or provide linkages to natural features, historic sites and other significant natural and heritage resources, as may be appropriate.



Long Island, NY

3 Incorporate the Urban Parks Framework

Parks and open spaces of different sizes support a variety of programming. They should be based on the park typologies outlined in Fairfax County's established Urban Parks Framework.



Klyde Warren Park, Dallas, TX

4 Introduce a Signature Urban Park to Function as the Town Square

A Signature Park is a major feature of the Parks and Open Space Concept. The park should be centrally-located and provide opportunities for active, passive, and social recreational activities as the central gathering space.



Rockville, MD

PARK & OPEN SPACE PRINCIPLES

5 Build Upon McLean's Sense of Place

There are features that define McLean's sense of place, which should be enhanced through the design of and activities held in its parks.

- Local Restaurants and Shopping
- Tree-lined Streets and Pathways
- Sustainable Stormwater Treatments and Green Infrastructure
- Use of Brick and Stone



City Place at West Palm Beach, FL

6 Provide a Multi-Functional Space

Parks and open spaces should be activated through appropriate types of programming and be designed in a manner that supports their intended uses. They should incorporate active, passive, social, natural, and cultural recreational features.



Rockville, MD

7 Organize Development Around Parks

Parks and plazas should be used as focal points of activity. Consideration should be given to organizing buildings and amenities around them.



Pentagon Row, Arlington, VA

8 Incorporate Community Input & Diverse Perspectives

Designers, county staff and community stakeholders should work together to identify potential programming, recreational activities and special events anticipated for each proposed park and open space.



Park Network & Typologies in McLean CBC

The following are publicly-accessible park spaces that are expected to be provided with new developments in McLean. They are typically provided as part of development proffers when new housing or commercial uses are built. These parks are intended for all of the community to enjoy, not just the occupants of the new building.

Signature Urban Park

Prominent park space located in the heart of McLean.

- Major placemaking feature and central gathering space
- Recreational opportunities for users of all ages and abilities
- Similar to a town square or village green
- 2/3 acre or larger



Old Postoffice Sq, Boston, MA

Linear Park

Elongated-shaped park that are usually located between destinations or points of interest.

- Host active or passive recreation facilities (e.g., fitness stations, dog exercise areas, seating areas)
- Link to existing pedestrian and bicycle elements.
- Provide opportunities for resource protection
- Offer natural areas with trails and waysides



Alethia Tanner Park, Washington, DC

Pocket Park

Very flexible park type where the design and function depends on context and community need.

- 1/10 acre to 2/3 acre in size
- Tend to function more as passive spaces supported by social gathering
- May include small-scale active recreation
- Best when paired with active building uses such as a restaurant or higher-density residential



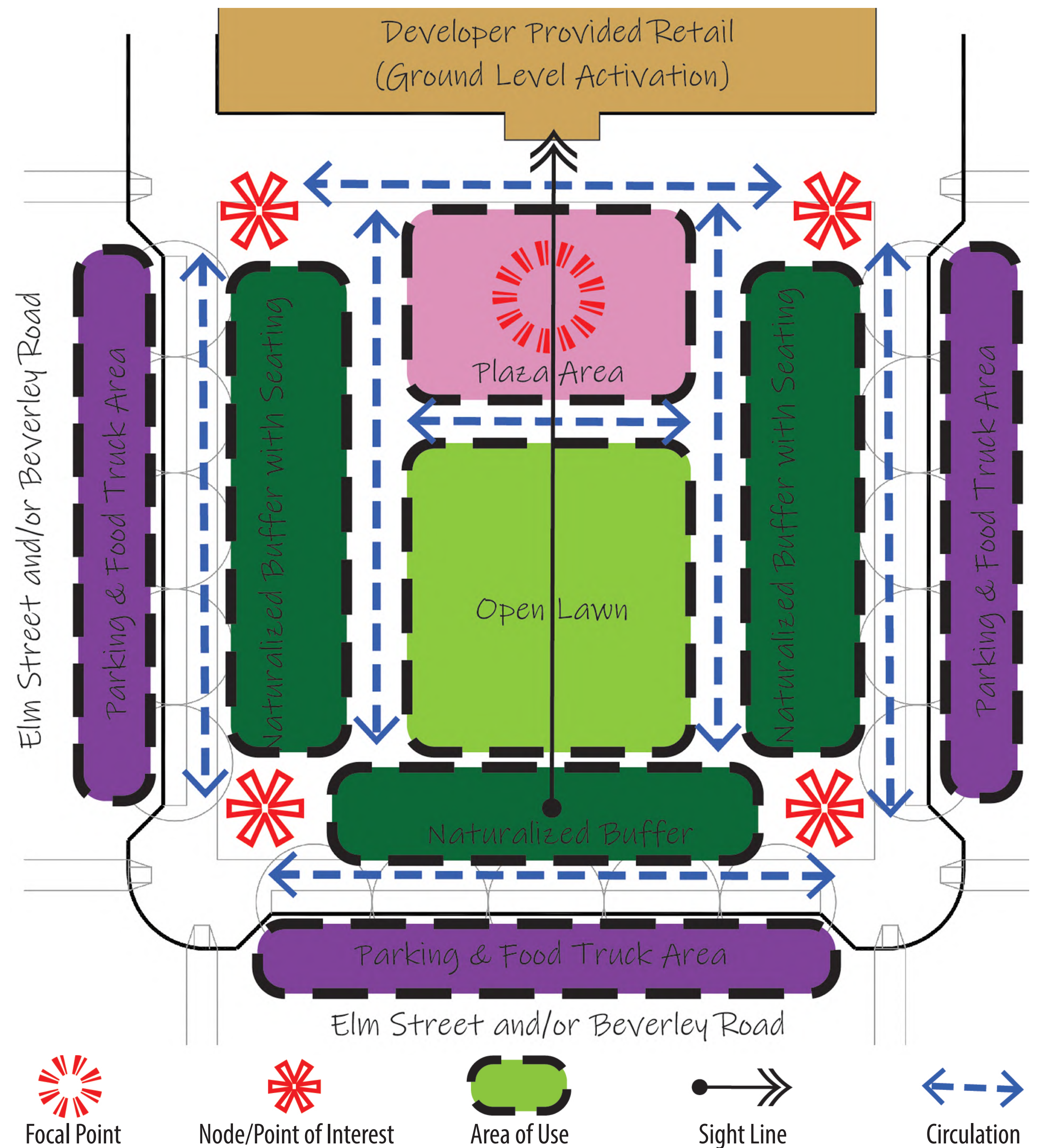
Strawberry Park, Merrifield, VA

MCLEAN PARK NETWORK PLAN



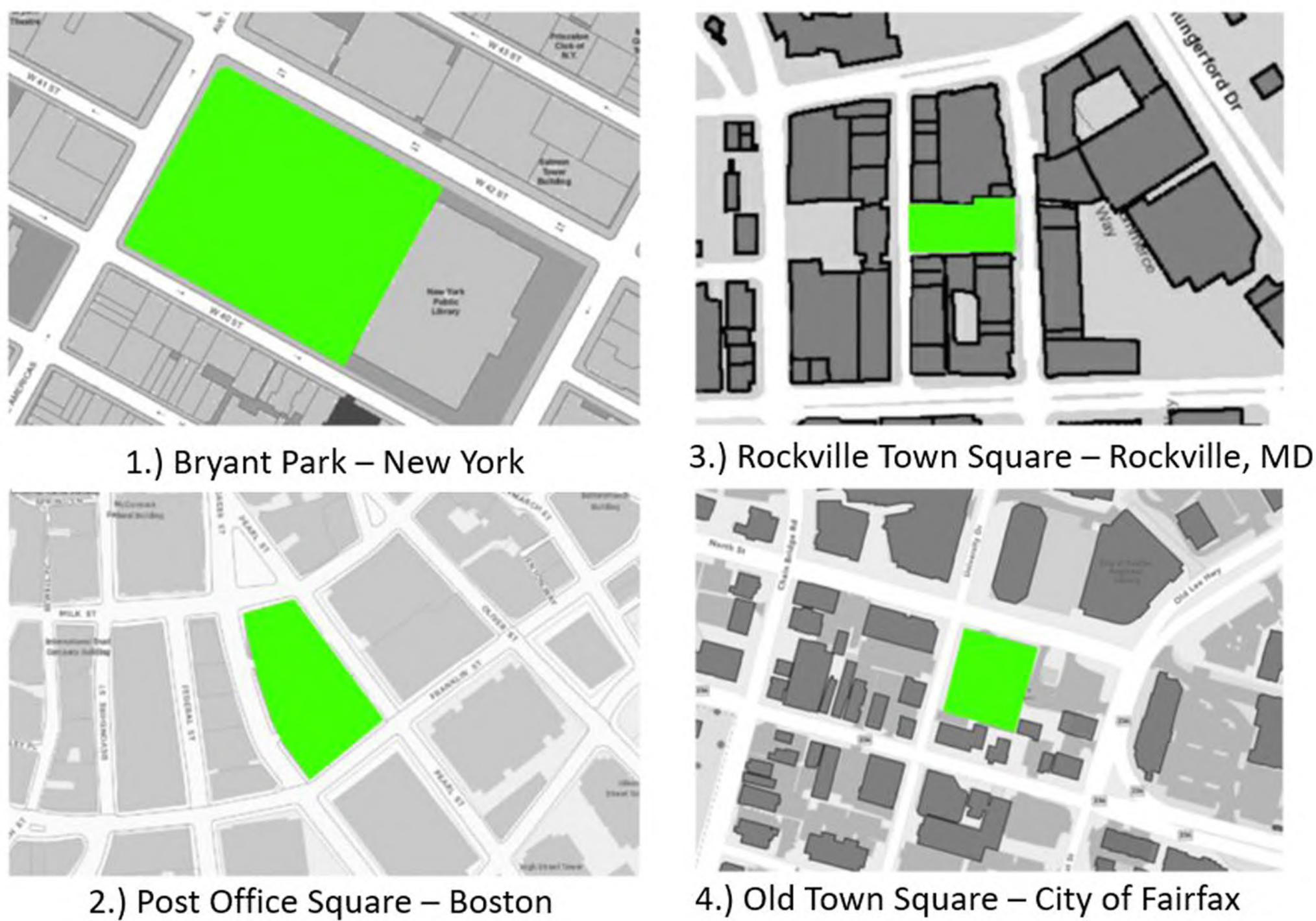
The Signature Urban Park

1. The Signature Park is anticipated to be provided through a consolidated redevelopment within the Bonus Height Area of the McLean CBC Center Zone.
2. The location for the Signature Park should include frontage along Elm Street or Beverly Road.
3. The park should be at least 2/3 acre.
4. The park should at a minimum include these components:
 - A focal Point
 - Activity Nodes/Point of Interest
 - Area of use (open lawn area or plaza)
 - Naturalized buffer
 - Framed by ground floor activation at least on one side



SIGNATURE PARK CONCEPT DIAGRAM

PARK SCALE COMPARISON 2/3 ACRE



Question #5

Parks & Open Space

McLean’s Comprehensive Plan recommends that park spaces be included as part of new development projects. These park spaces should be designed to work together to create a network of open space linked by sidewalks and pathways. Additionally, a Signature Public Park is proposed to be built in the center of McLean as a central gathering and activity space for the community.

A When you spend time in a park or outdoor plaza, what do you like to do?

Please write on a sticky note provided, and place them in the box below.

B Who do you go with? Place a dot in the space next to your choice below

By Yourself

Your Pet(s)

Spouse/ Partner/ Friends

Children/ Family

Other

C A focal point in the Signature Park will be an iconic feature that defines the park’s identity. What type of focal point would you like to see? Place a dot in the space next to your choice below (up to 3)

A Large Water Fountain

Architecturally Unique Covered Pavillion

A Large Piece of Public Art

Iconic Playground

Historic Monument

Interactive Water Feature

Creatively Designed Outdoor Café

Other

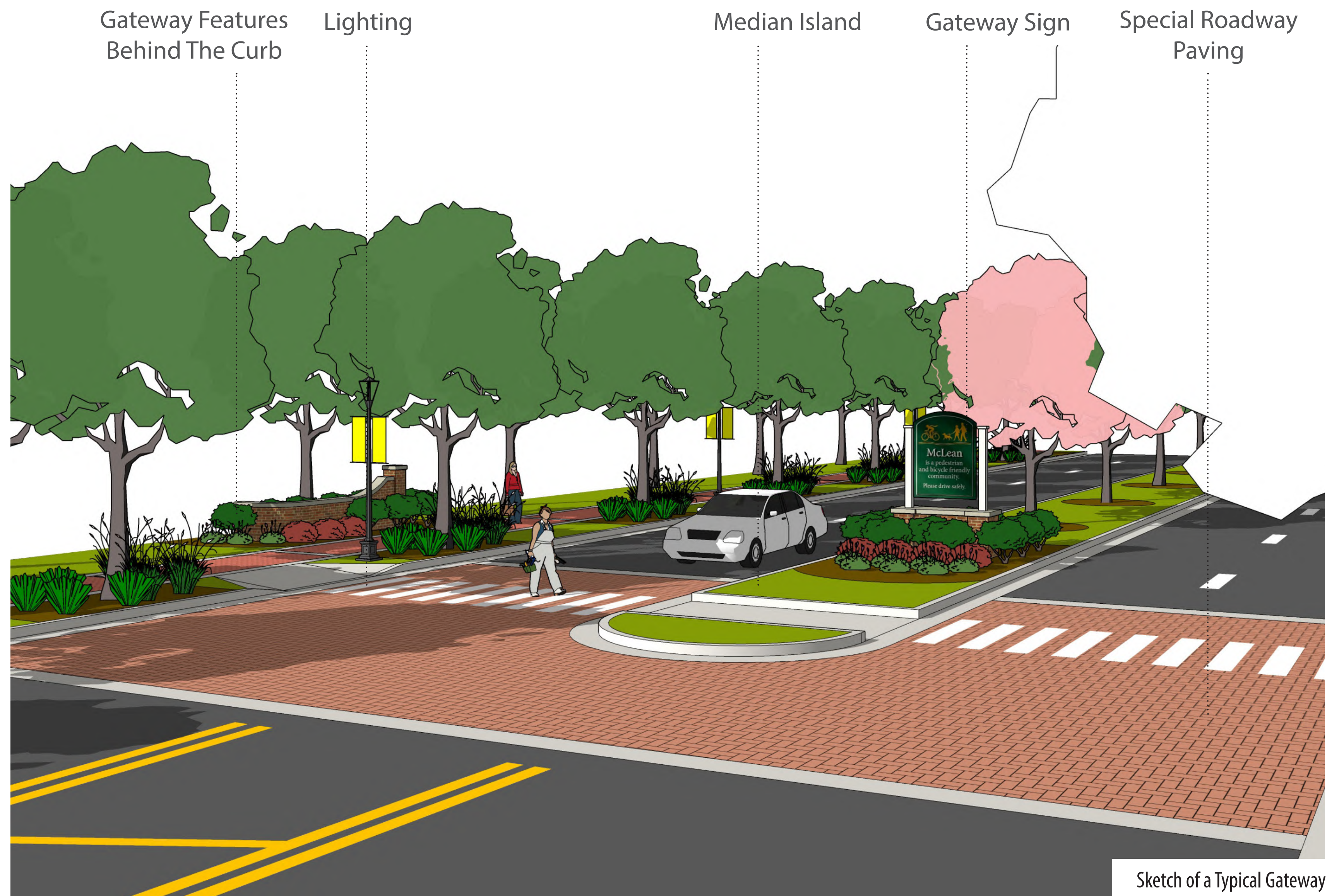
GATEWAYS, WAYFINDING & PUBLIC ART

Gateways

Gateways are the physical entrances into a community and play a key role in communicating a first impression of an area.

There are two possible types of gateways that can mark the entrances into the McLean CBC:

- Signs
- Building Architecture



MCLEAN GATEWAY LOCATIONS



Public Art

Art is an integral component of McLean’s history and identity. Public art in McLean should be site-specific, meaning it is created in response to the place and community in which it resides.

Development Expectation: New developments should include public art within their projects.

Educational Features and Artist Recognition: Consider integrating educational aspects into public art. Ensure proper artist credits.

Locational Criteria: Art should be publicly accessible and visible. It should be sited where people congregate, to enhance a public space or the pedestrian experience.

MCLEAN THEMES

A few themes permeate community sentiment about new public art proposals in McLean:

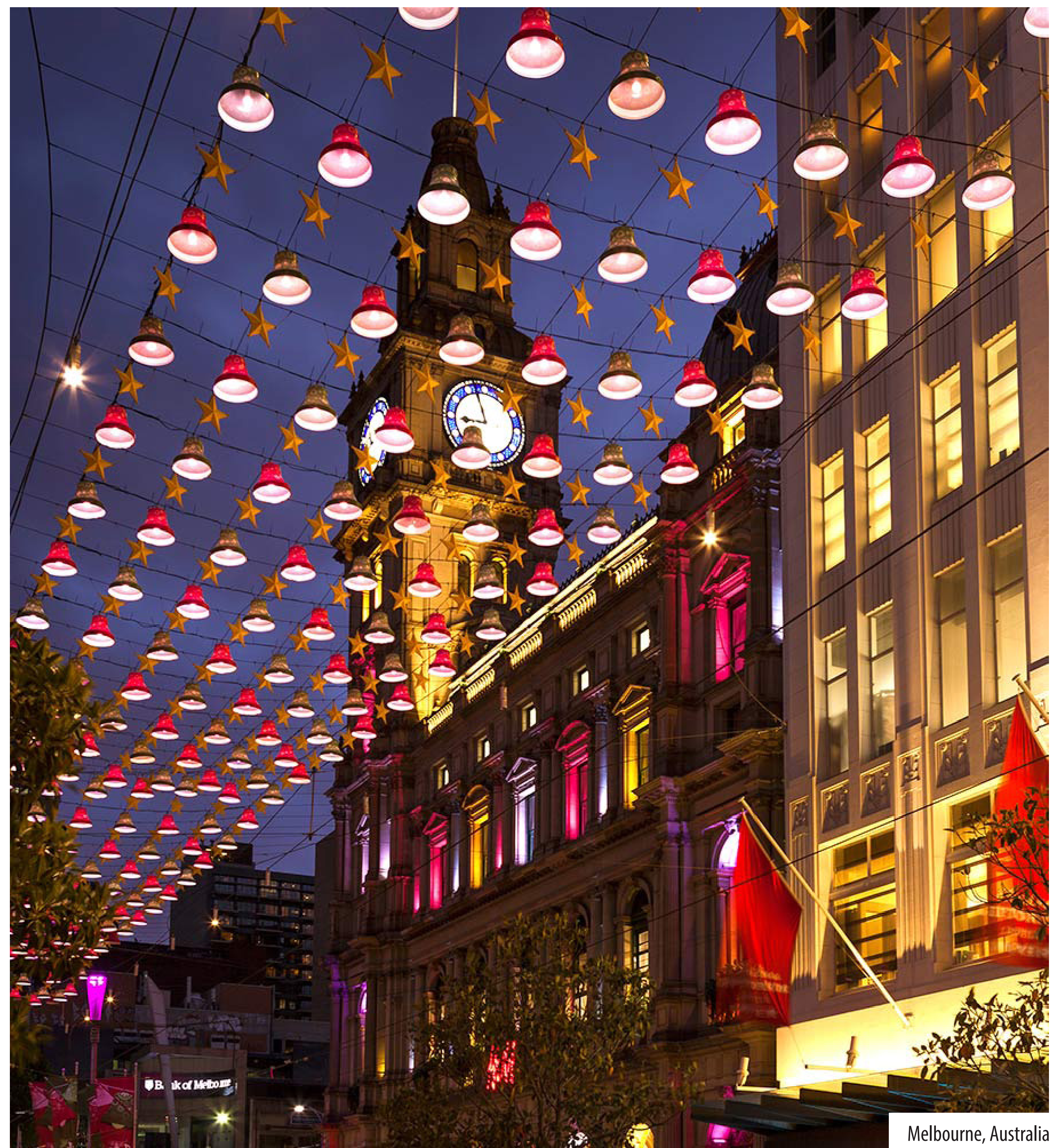
- **Public art should be integrally designed into development projects.**
- **Public art should activate or enhance public space.**
- **Public art can tell the story of McLean.**
- **McLean’s residents love water and environmentally friendly art.**



Denver, CO



Red Wing, MN



Melbourne, Australia



New York, NY



Silver Spring, MD

Wayfinding & Interpretive Signs

Wayfinding and interpretive signs play an important role in demarcating an area, identifying points of interest, and helping people navigate. These sign types also can play a central role in defining the character and identity of a place and inform people's daily experiences

DESIGN PRINCIPLES

- **Connectivity:** Provide safe routes with easy directions to help connect pedestrians to nearby destinations.
- **Consistency:** Uniformity of design, content, and placement is important to create a consistent brand identity.
- **Inclusivity:** Cater to the needs of all users, especially those with special needs. Collaborate with community organizations on design and content.
- **Adaptability:** Signs should be able to be modified as the CBC changes.
- **Local Identity:** Celebrate McLean's assets. Signs should build upon the McLean brand through colors, graphics, and materials.

